



The Rural Municipality of Oakview
is accepting Requests for Proposals for building two Municipal Public
Works Buildings.

Requests for Proposals clearly marked with
“MUNICIPAL SHOP”
will be received until Monday, June 13th, 2022 at 4:30pm.

1. Purpose

The purpose of this Request for Proposals (“RFP”) is to solicit Proposals from qualified Bidders to act as the builder to provide the full scope of construction services associated with the construction of Municipal Public Works Buildings as further described in this RFP, and for the Owner to enter into a Contract with the Bidder whose Proposal is judged to best serve the interests of the Municipality when evaluated in accordance with the stated evaluation criteria.

2. Work Site Location and Information

The work site locations are neighboring the existing public works yards situated at 32 South Railway, Oak River and 385 Seventh Avenue, Rapid City. Worksite viewing is highly recommended. Bidders can arrange site viewing by contacting:

Brad Kingdon, Manager of Public Works @ 204-868-5075

3. Project Schedule

	Task Description	Date
1	Issue RFP for Design-Build Project	May 30 th , 2022
2	Work Site Viewing	May 30 th – June 8 th , 2022
3	Inquiry Deadline	June 8 th , 2022
4	Submission Deadline	June 13 th , 2022 4:30 pm
5	Rank and selection of highest-ranking Bidder	June 14 th -17 th , 2022
9	Construction Period	TBD by Bidder
10	Completion of Project	September 30, 2023

4. Inquiries

For additional information, contact:

Brad Kingdon
Manager of Public Works
Phone: 204-868-5075
Email: publicworks@rmof oakview.ca

4.1 Submission Conditions

Proposals must be mailed, faxed, or emailed to one of the following addresses clearly marked with “Municipal Shop”

Attn: Marci Quane, CAO

Mail: PO Box 179
Oak River, MB,
R0K 1T0

Email: cao@rmof oakview.ca

Fax: 204-566-2126

4.2 Submission Deadline

Tenders must be received by the Municipality on or before: **Monday, JUNE 13th, 2022 at 4:30 p.m.** All submissions must be received no later than the time stipulated in the RFP. Proposals received after the date and time specified will not be considered.

4.3 Information to be Included with Tender

The Contractor shall submit with the tender, the following information listed in order for the proposal to be deemed eligible for this offering.

Required Information	
1	Completed Bid Form
2	Drafted Invoice Schedule stating phases of the project completion, projected cost payouts, and anticipated dates for each stage
2	RFP pages with Contractor's initial
3	Construction Schedule
4	Minimum of three references
5	Proof of public liability and property damage insurance for up to \$5,000,000
6	Workers Compensation Board number and proof of registration, clearance letter
7	GST and Manitoba PST number

Submissions that are incomplete, conditional, illegible or obscure or have reservations, erasures, alterations, additions not called for, or irregularities of any kind may be rejected. Erasures, overwriting or strikeouts are to be initialed by the person signing for the Bidder.

4.4 Price Submission

The Contractor will be responsible for obtaining all Subtrade prices and shall submit a lump sum project cost including the applicable taxes and fees as specified in the Bid Form. Rates quoted by the Contractor shall be an all-inclusive fee and shall include all labour and material costs, all insurance costs, including any and all other overhead, including any fees or other charges required by law.

The Contractor **must indicate a breakdown of the lump sum price and how much will be allocated to each phase of the project.** This information should be submitted on a draft invoice stating the anticipated date of completion for each phase as well as the anticipated invoice amount.

4.5 Construction Schedule Submission

Bidders must include a project work plan outlining major tasks to be done in various stages of the Scope of Work outlined in the Project Overview through to the completion of the project.

Bidders must provide a construction schedule showing detailed information, separately, for both buildings including:

- Plan outlining the order of construction of both buildings
- Project start date;
- Schedule of all major work packages; and
- Project end date/completion.

4.6 Bidder Qualification and Experience

The Proposal should identify and include information about the Bidder's experience (and any proposed subcontractor's experience) in providing construction services comparable to those requested in this RFP, or other experience and expertise that demonstrate their ability to perform the Work as described in this RFP. The Bidders must submit a minimum of three (3) project references. Acceptable project references must be detailed and demonstrate the following:

- A minimum of one project reference is completed in a comparable area; and
- Completion of a single project or multiple projects that are of a similar Scope of Work.

The Proposal should also identify and include information about the experience of the key personnel and other Project team members that the Bidder intends to dedicate to the Project and each person's role. This information may include information about the experience of key personnel or project team member that pre-dates the individual's relationship with the Bidder.

4.7 Work Plan and Schedule

The Proposal is to include a project work plan and schedule which outlines the Bidder's plan for proceeding with the Project within the time periods and project schedule.

The project work plan and schedule should include sufficient details to ensure that the merits of the work plan and schedule and the likelihood of success can be evaluated. The Bidder should include information on specific activities, tasks and timeframes for each activity and phase of the Project.

4.8 Alteration to Bid Submission

An RFP price may be altered by submitting another Bid Form at any time, up to the specified time and date for the closing. The last Bid Form received shall supersede and invalidate all previously submitted by the Contractor.

4.9 Withdrawal of Bid Submission

Bids may be withdrawn without penalty at any time prior to deadline of submission. The request shall be made in writing on the Contractor's letterhead and signed by a senior official of the Company, and include the direct contact information.

Bidders who withdraw their bids after the deadline of submission shall be liable to the Municipality for breach of contract.

5.0 Rights and Reservations

The RM of Oakview:

- (i) Reserves the right to reject any or all bids;
- (ii) May not accept the lowest price or any bid and may, at its sole discretion, accept any bid that is deemed to be most beneficial to the RM of Oakview;
- (iii) Reserves the right to waive informalities, irregularities, technicalities and minor non-compliances;
- (iv) May cancel this tender at any time prior to or after closing;
- (v) Reserves the right to accept a bid in total or in part or to accept some or all options listed;

-
- (vi) Reserves the right, in the event that only one bid is received, to terminate this tender process;
 - (vii) May reject any bid that is unsigned, improperly signed, not sealed, conditional, illegible, contains arithmetical errors, erasures or irregularities of any kind;
 - (viii) Reserves the right to change the Scope of Work and retender the Project or negotiate the Scope of Work, or a portion thereof, if the RM of Oakview does not receive a substantially compliant bid within the RM of Oakview's budget;
 - (ix) Reserves the right to reject any bids submitted by a bidder who has previously defaulted on a tender or otherwise failed to complete a contract with the RM of Oakview;
 - (x) Reserves the right to consider its legal position and risk associated with entering into a contract with a party that the RM of Oakview is in litigation with or has a history of unsatisfactory performance; and
 - (xi) In the event of a discrepancy between a unit price and an extension of price, the unit price will govern.

5.1 MANDATORY CRITERIA

Received by Closing Date ☐

Part 1 – Signed RFP pages Received ☐

Part 2 – Schedule of Prices and Delivery Schedule Received ☐

Part 3 – Proof of Workers Compensation Number Received ☐

Part 4 – Construction Schedule ☐

Part 5 – Three References ☐

Part 6 – GST & Manitoba PST number provided ☐

Part 7 – Proof of public liability and property damage insurance for up to \$5,000,000 provided ☐

Part 8 – Completed Bid Form ☐

5.2 Notice of Award

The RM of Oakview will provide notice of award in writing to the successful bidder.

5.3 Revisions, Withdrawal and Irrevocability

Amendments to tenders may be submitted in writing at any time before Closing.

No amendments or revisions received after Closing will be considered. Any amendment must be signed by an authorized signatory of the bidder and submitted in accordance with the requirements for the Submission of Tenders, as set out above. All tenders will remain open for Municipal acceptance for thirty (30) days after Closing.

5.4 Costs of Preparation and Limitation of Liability

All costs incurred by the bidder in the preparation and submission of their tender will be at their own expense. The RM of Oakview will not be liable to any bidder for any claims, whether for costs, expenses, losses or damages, or for loss of anticipated profits, incurred by the bidder in preparing and submitting their tender or participating in this tender process.

5.5 Default of Bidder

If the successful bidder:

- (i) Fails or refuses to enter into the Contract, then such failure or refusal will be deemed to be a refusal by the successful bidder to enter into the Contract and the RM of Oakview may, on written notice to the successful bidder, award the Contract to another party.

5.6 Prices

The bid price will represent the entire cost including applicable taxes to the RM of Oakview. Notwithstanding the generality of the foregoing, bidders shall include in the bid price sufficient amounts to cover:

- (i) The costs of all labour, equipment, mileage/travel and material included in or required for building of municipal public works buildings, including all items which, while not specifically listed in the Schedule of Prices, are included in the Work;
- (ii) All overhead costs, including head office and on-site overhead costs, and all amounts for the profit of the supplier. The bid price shall cover all taxes and assessments of any kind payable with respect to completion of the buildings.

- **General Provisions**

- **Locates**

Locates to be completed by the Contractor and evidence provided to the Municipality prior to start of construction (All Utility and Fiber Optic Companies). The Municipality will provide locates of the Municipal waterlines.

- **Contractor's Schedule of Work**

The Contractor shall provide a weekly e-mail status report to the Municipality containing:

- The anticipated schedule of activities for the upcoming workweek
 - A brief summary of the work completed in the previous week
 - Any problems encountered the previous week
 - Any other issues related to the work progress

E-mail contact will be the Public Works Manager (publicworks@rmfoakview.ca)

- **Safety Requirements**

The Contractor shall comply with all provisions of the Worker's Compensation Act, with respect to all persons employed by the company and shall provide proof of coverage prior to commencement of the work. The Contractor shall be registered with the Workers Compensation Board of Manitoba and shall maintain in good standing workers compensation coverage throughout the term of this agreement.

The successful Bidder shall assume the responsibilities of the Prime Contractor for the Work as provided in Section 7 of The Workplace Safety and Health Act and shall sign a document with the RM of Oakview identifying the successful Bidder as the prime contractor.

The Contractor will be responsible to set-up appropriate safety signage and traffic management equipment at the construction site. It is the responsibility of the Contractor to secure the worksite throughout the duration of the project.

Subsequent to the tender, the Contractor (and their employees) hired by the Municipality are responsible to familiarize themselves with and abide by any and all requirements, with regard to safety equipment and all other standards pertinent to the supply and safe operation of equipment quoted, as required by any and all applicable legislation in force at the time of this bid is accepted, or which may subsequently be enacted. Without limiting the foregoing, all operators shall have and use appropriate Personal Protective Equipment.

The Municipality may require a written "Safe Work Procedure" observed at the construction site under this Request for Proposal.

- **Insurance**

The successful bidder must possess and maintain a comprehensive insurance policy that includes both public liability and property damage insurance and have a minimum of \$5,000,000 coverage per incident. The Contractor must name the Municipality as an insured entity under the insurance policy.

The Contractor must provide the Municipality with a certified copy of the insurance policy, each year of this contract, and prior to the commencement of the contract. Vehicular insurance in accordance with the industry standard must be current and Contractor will provide evidence of such coverage as requested by the Municipality. All deductibles are to be borne by the Contractor and not by the Municipality.

- **Damage and Errors Claim**

The Contractor is responsible for all damages caused by their workers and equipment during the project phase and any damage shall be reported to the Public Works Manager or to the designate overseeing the project immediately upon notification of damage or an error.

The Contractor shall be responsible for all errors caused by their workers and equipment, and any cost incurred by the Contractor either by way of causing the error or rectifying the error shall be the responsibility of the Contractor. All errors shall be followed up in writing by the Contractor stating the cause, who was it reported to and how the error was rectified.

- **Payment Stages & Holdback Amount**

The Contractor shall submit invoices to the Municipality at the negotiated stages of completion. If the Services that are the subject of the invoice have been completed to the satisfaction of the Municipality, the Municipality shall approve same for payment, whereupon the Municipality shall pay to the Contractor those fees set forth in the invoice as soon as possible after approval.

A holdback amount of 7.5% of the total project cost will be withheld and retained for at least 30 days after an occupancy permit is provided and:

- A certificate of substantial performance is given under pursuant to Section 46 of The Builders' Liens Act of Manitoba; or
- The work to be done under the contract has been completed, the services to be provided under the contract have been completely provided and the materials to be supplied under the contract have been completely supplied; or
- The work to be done under the contract, the services to be provided under the contract and the supplying of materials to be supplied under the contract have been abandoned; whichever first occurs, so that the total holdback shall be equal to 7.5% of the contract price for the whole contract.

Prior to release of the holdback amount, the Contractor will be requested to fill out a Claim for Substantial Performance Payment and Statutory Declaration.

Should the Contractor fail to fulfill the terms of this contract by **September 30th, 2023**, Council of the Municipality shall be entitled to revoke this contract and proceed to complete the works herein.

Project Overview

Intent

This request for tender involves the construction of two new commercial post-frame Maintenance Shops that will be located in the communities of Oak River and Rapid City, with the following scope:

- Dimensions of the shops will be 100' length x 60' width x 20' high
- See attached drawings of the required building design
- Municipality will provide and pay for development / building permits
- Municipality will provide water and sewer connection to the property

Site Work

- Prepare site to finished construction grade excavation and backfill of foundation for slab on grade construction using native fill. Contractor responsible to establish finished grade a minimum of 3 feet outwards from the edge of concrete.
- Actual building location and elevation to be determined by the Municipality prior to construction.
- Excavation depths exceeding 2 feet will be considered extra work and shall be paid on a time and materials basis should the **Municipality** determine that more than 2 feet of excavation depth is required.
- Compacted granular fill in excess of 8 inches will be considered extra work and shall be paid on a time and materials basis should the **Municipality** determine that more than 8 inches of compacted granular fill is required underneath the concrete slab.
- Excavate and backfill all services
- Excavate and backfill for sub slab plumbing services
- Excavate and backfill for electrical servicing
- Required grade for proper building drainage
- All site work must meet compaction code

Concrete and Flooring

- Interior as per drawings
 1. Concrete flooring with in-floor radiant heating
 2. Slab sensors for the floor heat
- Exterior apron as per drawings

Doors and Windows

- Overhead roll-up doors as per drawings
 - Three (3) 18' x 18' high overhead doors with windows, electrical jackshaft door openers, and remote
 - One (1) 16' x 12' high overhead doors with windows, electrical jackshaft door openers, and remote
 - Window inserts per overhead doors
- Entry doors as per drawings
 1. Four (4) man doors, 36" x 82" size
 2. Commercial grade steel construction primed and painted
- Three (3) interior, stained man doors, primed and two (2) topcoats

Mechanical

- Radiant boiler electrical floor heating system with slab sensors (primary heating)
- Two (2) electric overhead forced air heaters (secondary recovery system)
- Air ventilation system with interconnected mechanical inlet as required by Code
- Water lines to be positioned at either ends of the building, lines to be run under concrete
- Air lines: Five (5) air compressor hook-ups throughout the shop. Piping to be $\frac{3}{4}$ inch in size with in-line spin-on air filter at the compressor.

• Electrical

- 400 A service is required
- Underground electrical service from property line to building
- Electrical outlets, placements as per sketch
 1. 18 interior outlets in accordance with Code
 2. 2 welding plugs – 1 rear left corner, 1 next to workbench
 3. 13 (20 amp) exterior outlets with GFI – 5 on left, 4 on right, 1 on back side (close to rear door), 3 on front
 4. Air compressor switch
- Overhead lighting: (21) LED high bay lights in main shop area, lights are to be a minimum of 18,400 LUMs
- Six (6) overhead LED strip lights 96" in length, under mezzanine
- Eight (8) outside lights over doorways with dusk to dawn switches
- Three (3) commercial ceiling fans

• Plumbing

- Code compliant accessible washroom as per drawings, which includes:
 1. (1) toilet
 2. (1) sink
 3. (1) in floor plumbing (for future shower)
 4. (1) mirror
 5. (1) hand towel dispenser
 6. (1) bathroom fan
 7. (1) floor drain
- One (1) floor drain in mechanical room

• Carpentry / Metals

- Mezzanine floor as per drawings
 1. One (1) set of stairs: 48" stairway with aluminum railing top of stairs
 2. Forklift accessible gate fence on mezzanine (8' wide), WSH compliant
- Eavestroughs, snow traps and down spouts as per drawings

• Finishes

- All walls finished including trim
- Mezzanine and bathroom: white tin finish
- White tin interior for improved lighting
- Colored outside walls (Color to be finalized between contractor and municipality)
- Mechanical/storage room – plywood and painted
- Installation of eaves troughing

- **Project Completion**

The successful Contractor shall complete all work related to this RFP on or before September 30th, 2023. This agreement may be extended due to extenuating circumstances like inclement weather, at the sole discretion of the Municipality.

Bid Form

Build: Maintenance Shops

Contractor's Information

Bidder's Legal Name:			
Bidder's Contact Person:			
Mailing Address:			
Office:	Cell:	GST No.	Fax:
WCB No.		Manitoba PST No.	
Email:			

References

Project Name/Type of Work/Year	Reference Municipality/Organization	Contact Person	Contact Details (phone, email)

Use additional sheet if more space is required*RFP Price**

Lump Sum Amount	\$
Applicable Taxes & Charges	\$
Project Total	\$

**** Taxes and charges to include "ALL" Provincial, Federal and Municipal Taxes and Fees ******Offer Validity**

This offer will be open for acceptance, binding, and irrevocable for a period of thirty calendar days following the Submission Deadline.

Submitted by (Name): _____ (Please Print)**Date:** _____ **Signature:** _____

Initial of Contractor: _____

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GSCALE



Public Works Building

RM of Oakview - MB

Builder(s) to provide specific address



Engineer: Rob Riesz, P.Eng. 204.724.5545 rriesz@mymts.net
Builder(s): Ken Tait 204.328.7570 Ken.Tait@homehardware.ca

DRAWING CALLOUTS

CLICK ON CALLOUT TO GOTO TO PAGE

BUILDING SECTION

X

XX

SECTION DETAIL

X

XX

DETAIL

X

XX

ELEVATION

X

XX

ELEVATION DETAIL

X

XX

GOTO

XX

CONSTRUCTION TYPES

XX

X

LEGEND:

AFF

ABOVE FINISH FLOOR

CL

CENTER LINE

DN

DOWN

FD

FLOOR DRAIN

FL

FACE LINE

ICF

INSULATED CONCRETE FORM

NTS

NOT TO SCALE

OH

OVERHANG

O/C

ON CENTRES

P.T.

PRESSURE TREATED FOR PWF

PWF

PRESERVED WOOD FOUNDATION

R

RISER

RO

ROUGH OPENING

T/O

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TYPICAL

U/N

UNLESS NOTED OTHERWISE

U/S

UNDERSIDE OF

- PROJECT NOTES TO BUILDER(S): 2012.07.31
1.

ANYONE REFERRING TO THESE DRAWINGS IS CONSIDERED A BUILDER(S).
2.

VERIFY AND COMPLY WITH ALL APPLICABLE CODES AND STANDARDS.
3.

VERIFY ALL DIMENSIONS AND CONFIRM EXISTING CONSTRUCTION.
4.

STRUCTURAL ENGINEERING BY RIESZ ENGINEERING. ALL OTHER DESIGN BY BUILDER(S) AND/OR LOCAL BUILDING AUTHORITY. RENE DUPUIS IS NOT RESPONSIBLE FOR ANY DESIGN.
5.

ACCEPT FULL RESPONSIBILITY FOR THE PROJECT OR HIRE AN ARCHITECT TO SEAL DRAWINGS.
6.

COORDINATE NECESSARY CHANGES PRIOR TO ANY WORK BEING STARTED. NOTIFY ENGINEER IF HIS DESIGN IS AFFECTED.

Sheet List Table		
Description	Number	Title
	1..1	Cover
Elevations	A1	Renderings
	A2	Renderings
	A3	Exterior Elevations
	A4	Exterior Elevations 2
	A5	3D Framing
	A6	3D Framing Details
Plans	B1	Site Plan
	B2	Main Floor Plan
	B3	2nd Floor Plan
	B4	Foundation Plan
	B5	Main Floor Framing Plan
	B6	2nd Framing Plan
	B7	Roof Framing Plan
Sections	C1	Building Section
	C2	Details
	C3	Details
Notes	D1	Code Review
	D2	Code Review
	D3	Code Review
	D4	Construction Types, Notes
	D5	Client Notes

CLICK ON SHEET NUMBER OR TITLE TO GO TO PAGE

hh

Home

building centre

204.328.7570

Ken.Tait@

homehardware.ca

CD

Construction-Drawing.com

PROJECT:

Public Works Building
RM of Oakview – MB

SHEET TITLE:

COVER

DATE:

2021 08 30

SCALE:

3/16" = 1'-0"

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René Dupuis

CHECKED BY:

Builder(s)

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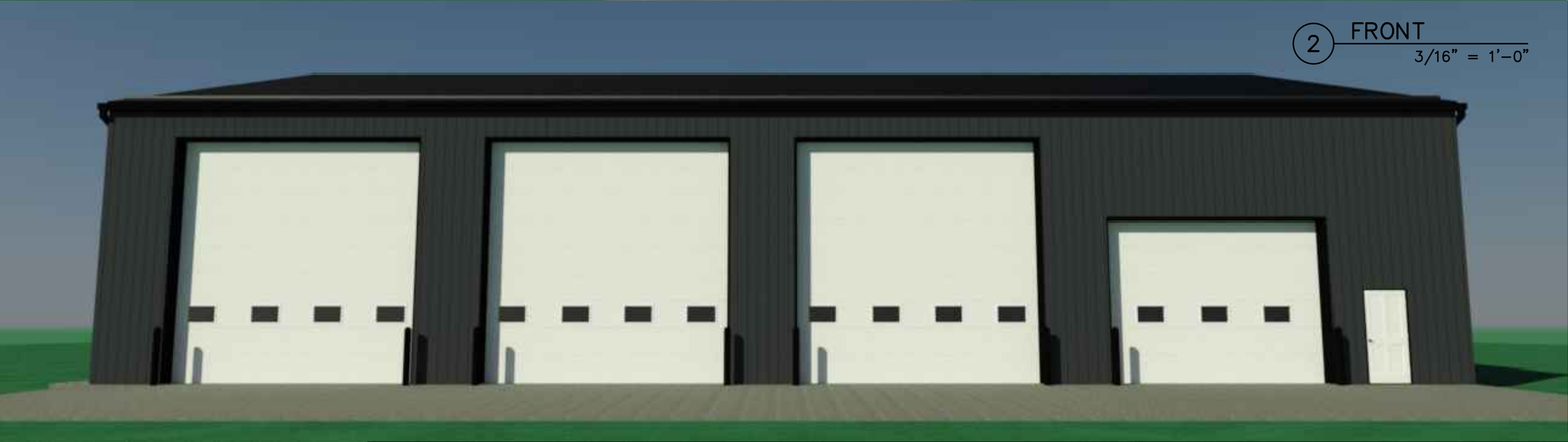
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
① FRONT LEFT
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② FRONT
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Ken.Tait@
homehardware.ca


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1 FRONT RIGHT
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2 BACK RIGHT
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-Drawing.com

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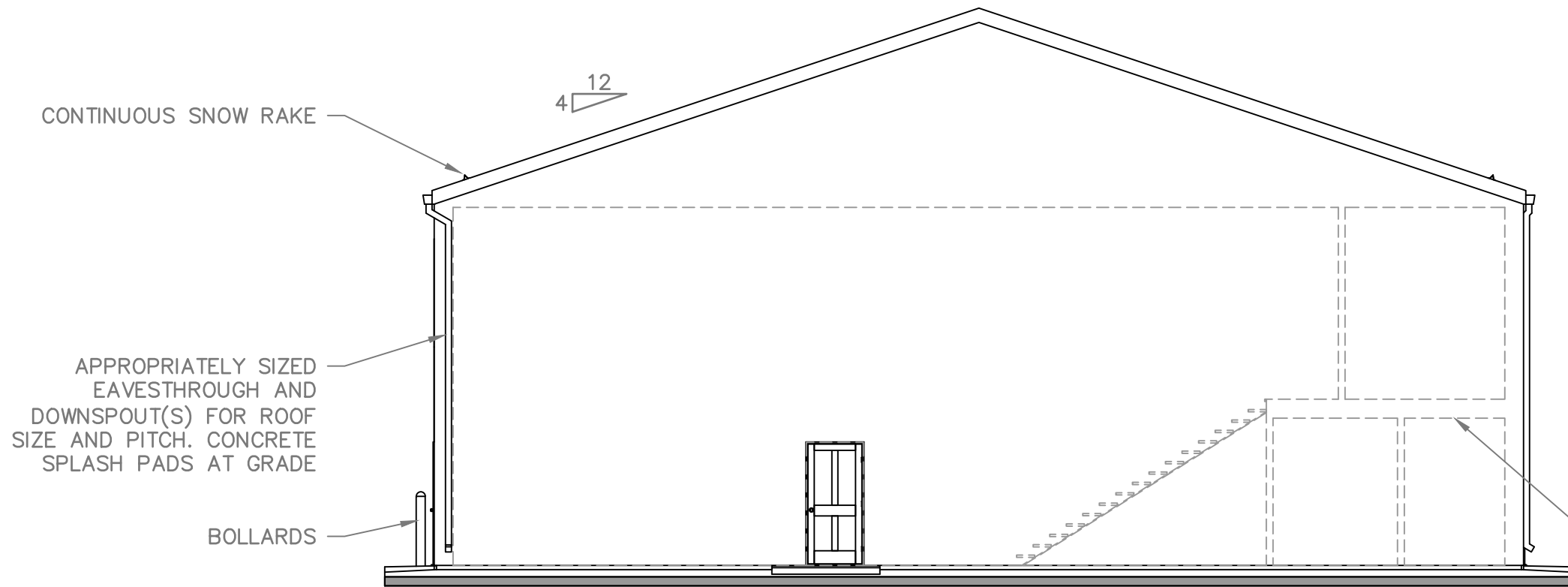
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2021/08/30 @ 08:10:31

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CONTINUOUS
SNOW RAKE



1 FRONT
1/8" = 1'-0"

ELEVATION NOTES
FASTEN METAL SIDING
WITH SCREWS ON EACH
SIDE OF HIGH RIB AT TOP
AND BOTTOM OF WALLS
RIDGE AND EAVE. FASTEN
AT 6" ALONG GABLE
EDGE INTO BLOCKING

2 RIGHT
1/8" = 1'-0"



LINE(S) OF
INTERIOR FLOORS,
WALLS AND CEILING



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PROJECT:	Public Works Building RM of Oakview – MB	DATE:	2021 08 30	REVISION:	
		SCALE:	1/8" = 1'-0"		
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		CHECKED BY: Builder(s)			

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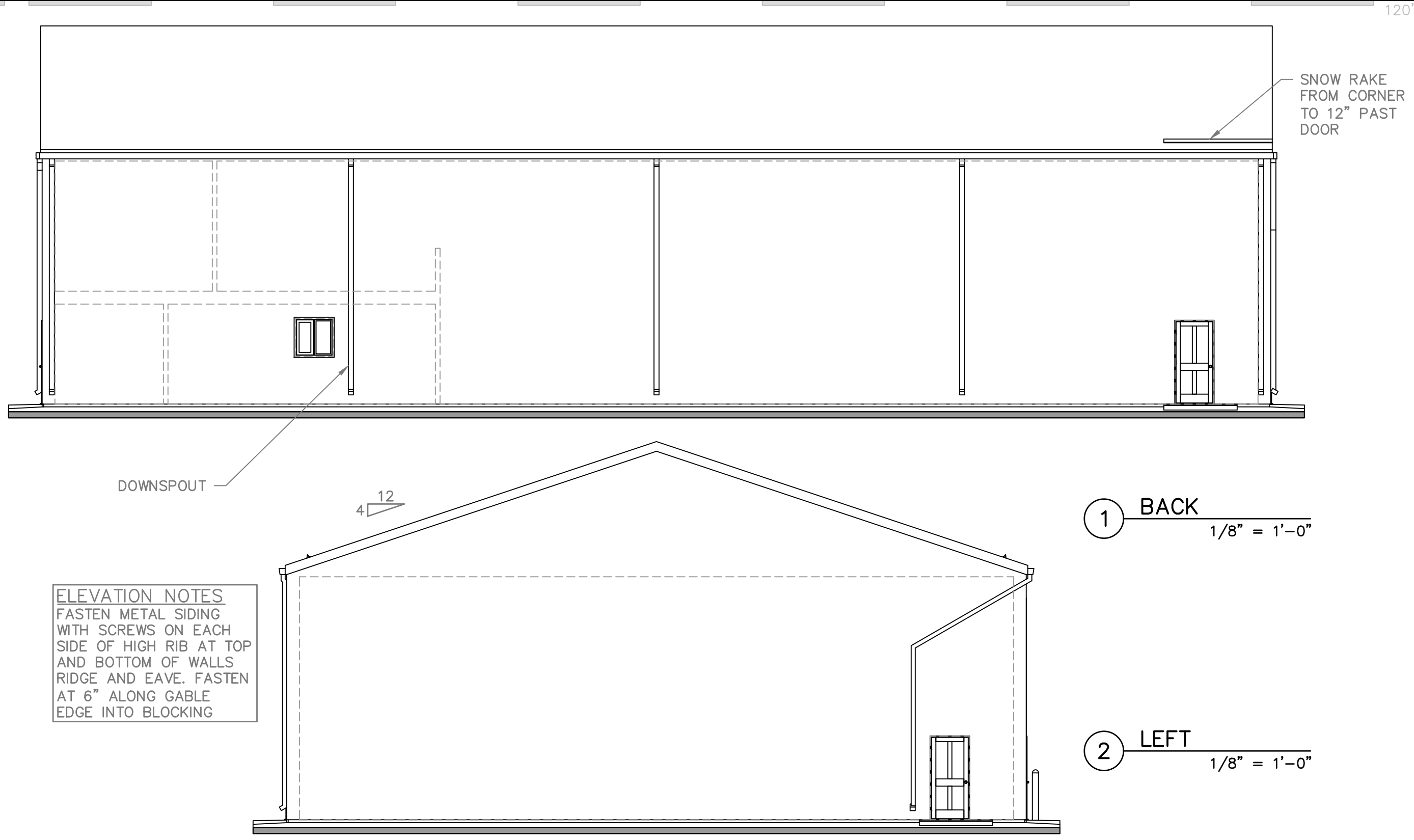
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ELEVATION NOTES
FASTEN METAL SIDING
WITH SCREWS ON EACH
SIDE OF HIGH RIB AT TOP
AND BOTTOM OF WALLS
RIDGE AND EAVE. FASTEN
AT 6" ALONG GABLE
EDGE INTO BLOCKING

1 BACK
1/8" = 1'-0"

2 LEFT
1/8" = 1'-0"


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PROJECT:	Public Works Building RM of Oakview – MB	DATE:	2021 08 30	REVISION:	<div><div></div><div>0</div></div>
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SHEET TITLE:	EXTERIOR ELEVATIONS 2	DRAWN BY: René Dupuis		DRAWING:	<div><div>➤1..1</div><div>A4</div></div>
		CHECKED BY: Builder(s)			

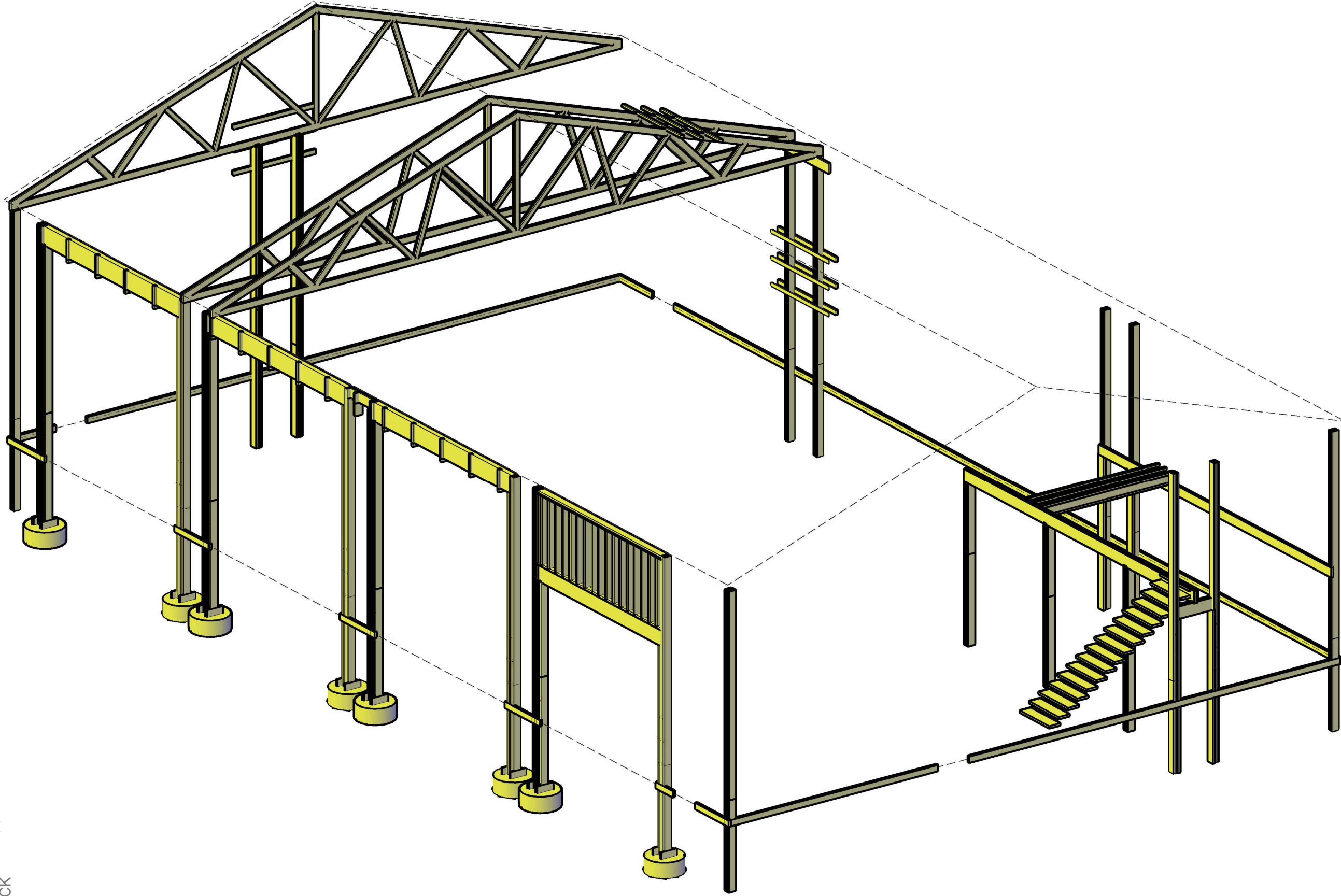
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		SCALE:	1/8" = 1'-0"		
SHEET TITLE:	3D FRAMING	DRAWN BY: René Dupuis		DRAWING:	A5
		CHECKED BY: Builder(s)		<div><div></div>1.1</div>	

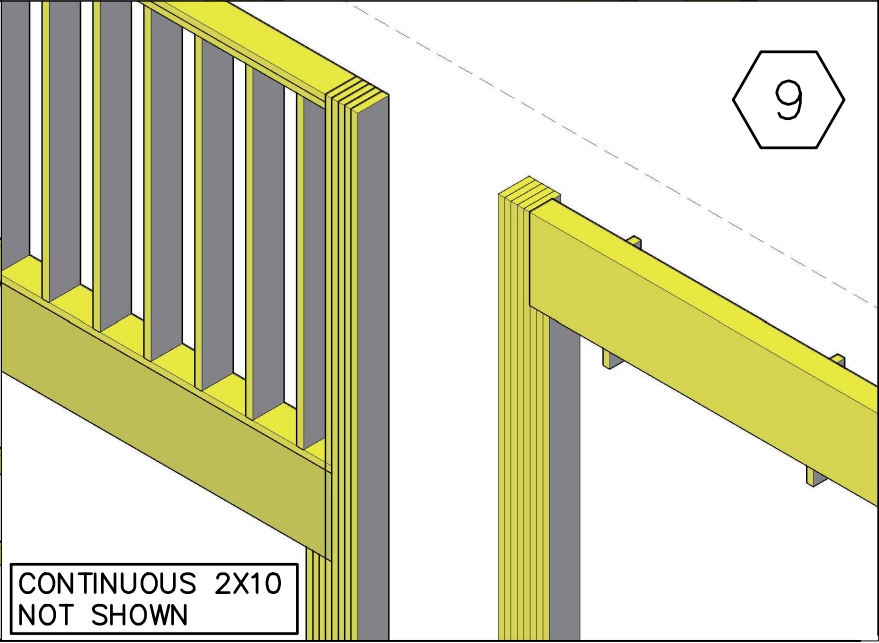
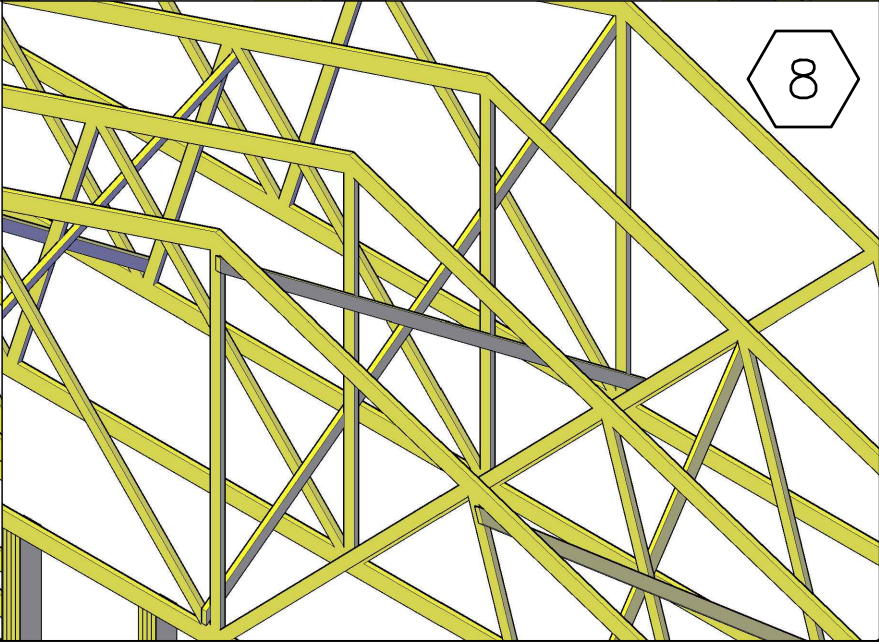
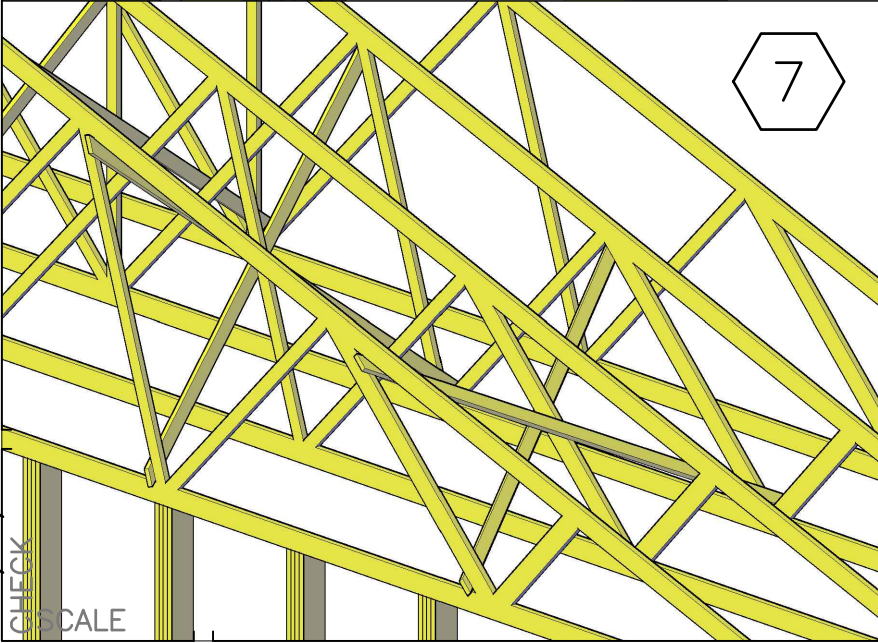
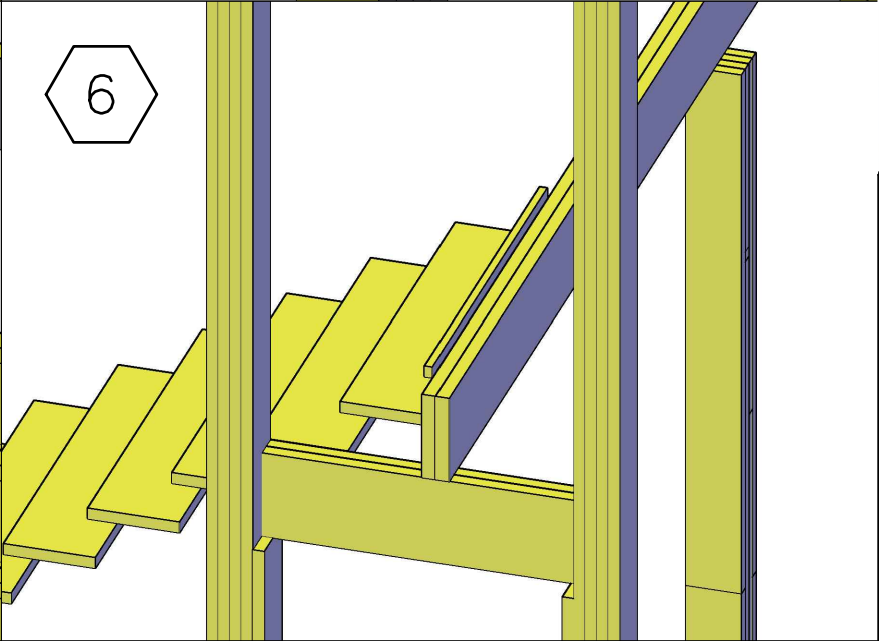
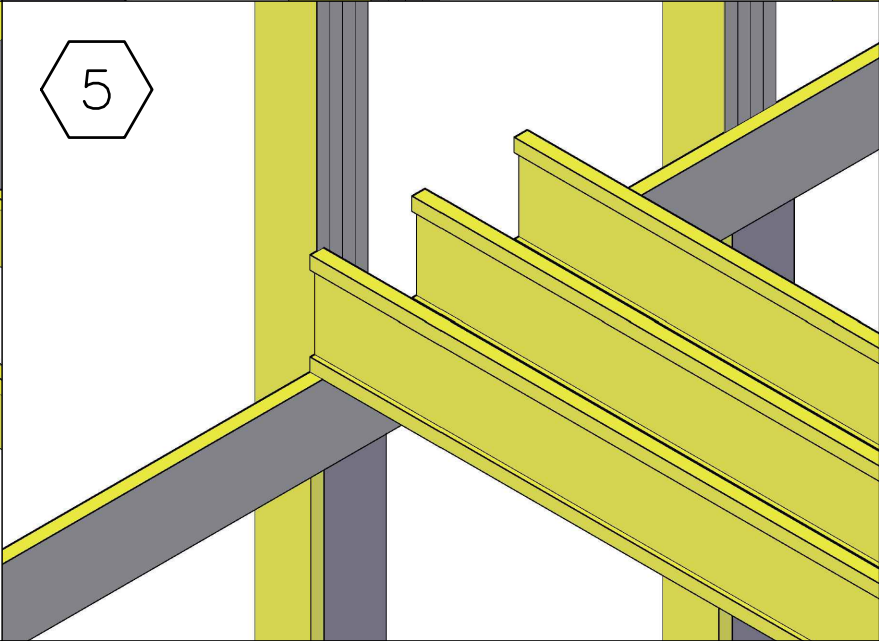
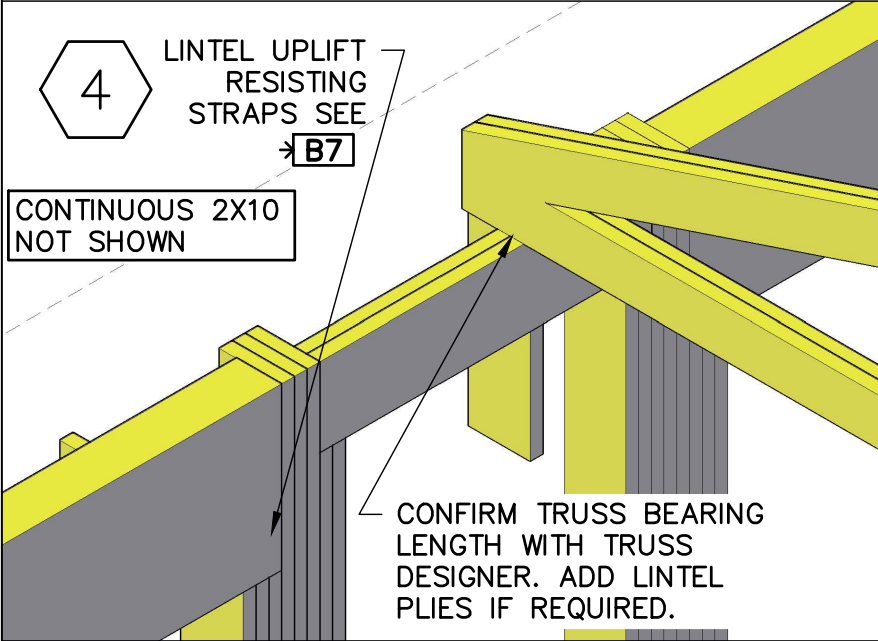
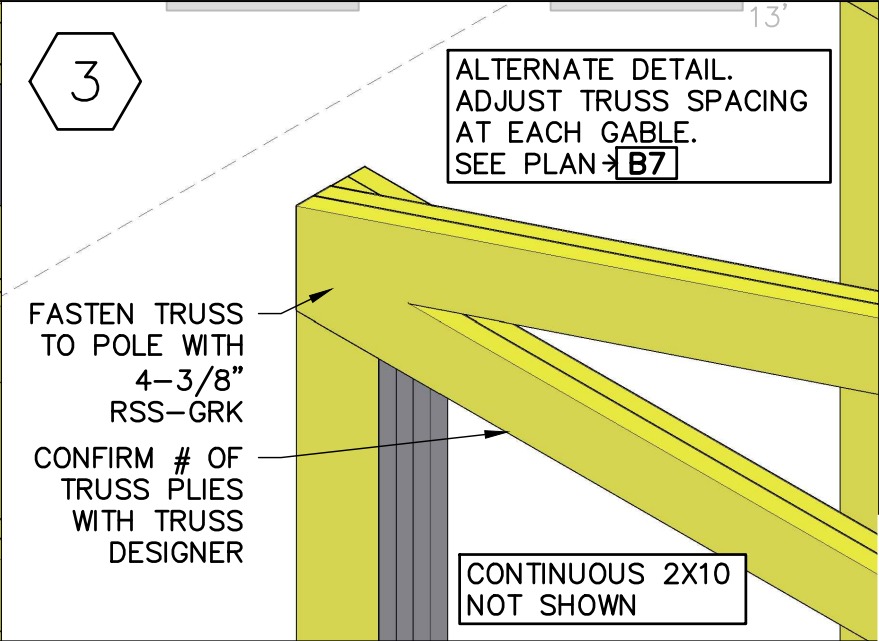
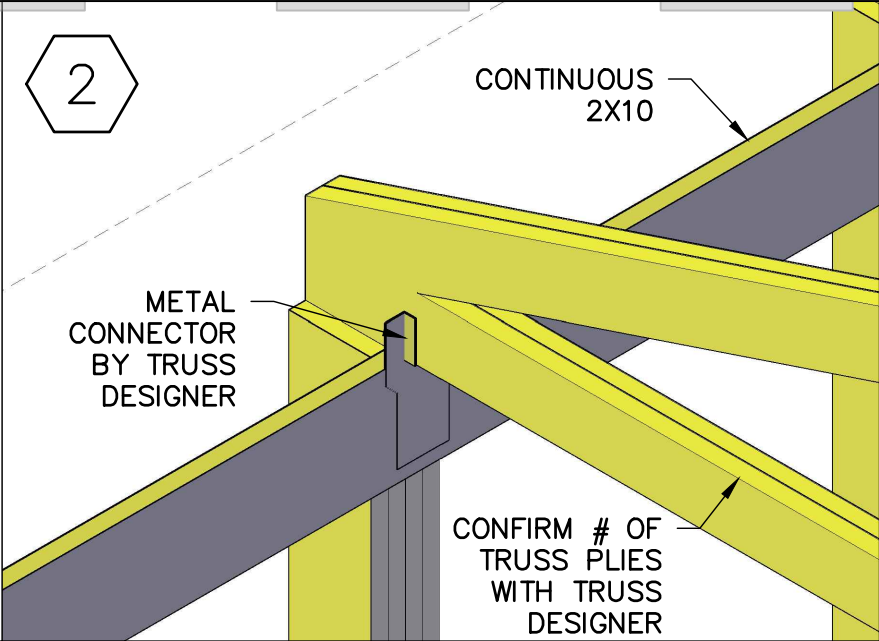
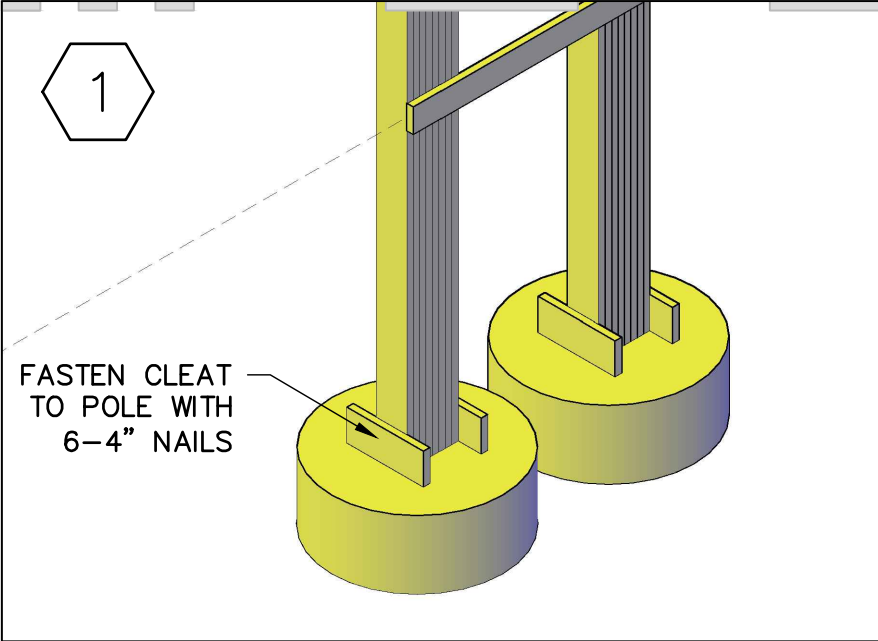
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	RM of Oakview – MB		SCALE:	3/8" = 1'-0"		
SHEET TITLE:	3D FRAMING DETAILS		DRAWN BY: René Dupuis		DRAWING:	➔ 1..1
			CHECKED BY: Builder(s)			

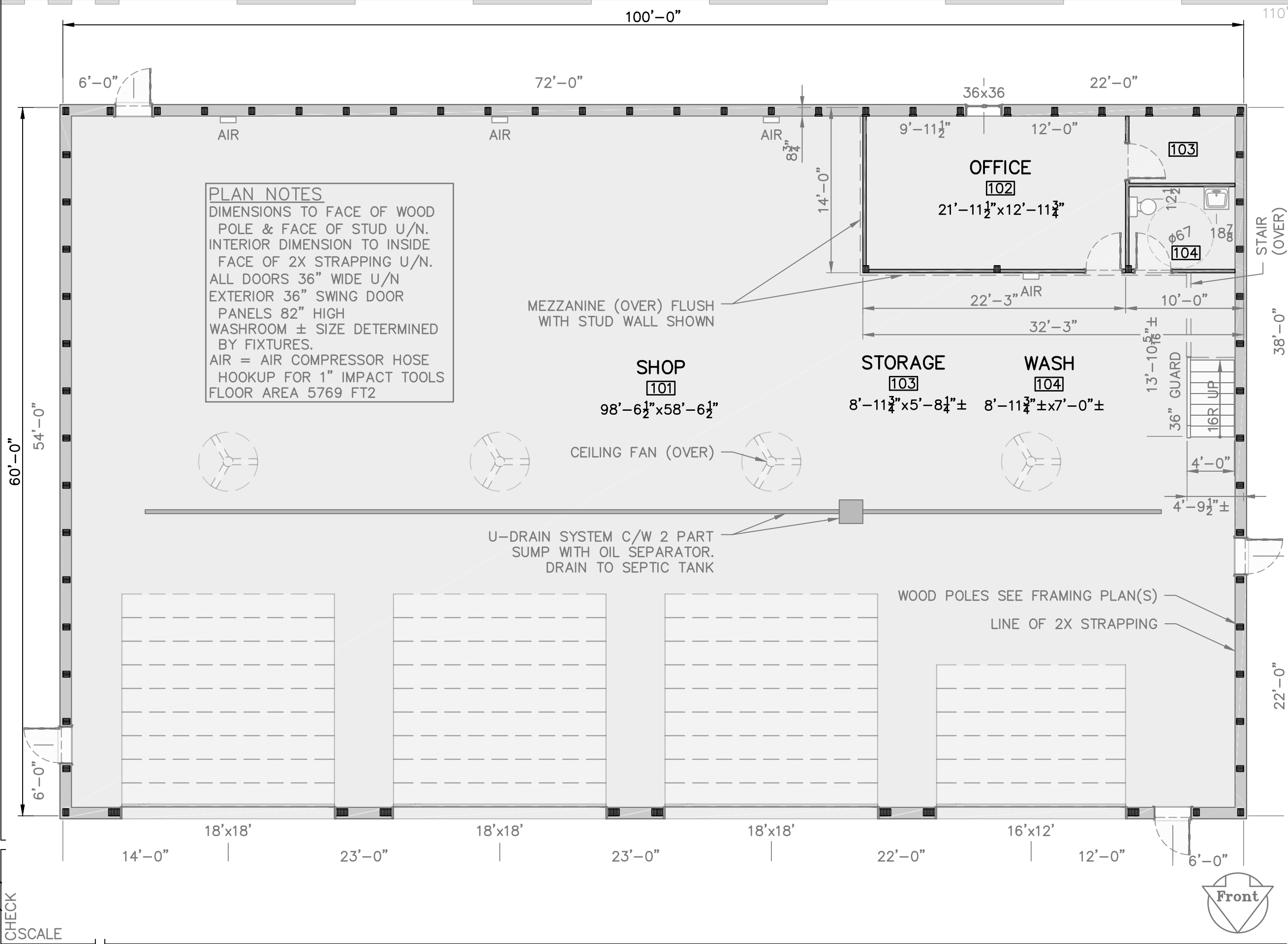
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SHEET TITLE:	MAIN FLOOR PLAN		DRAWING: B2		
			DRAWN BY: René Dupuis		
			CHECKED BY: Builder(s)	<div>1..1</div>	

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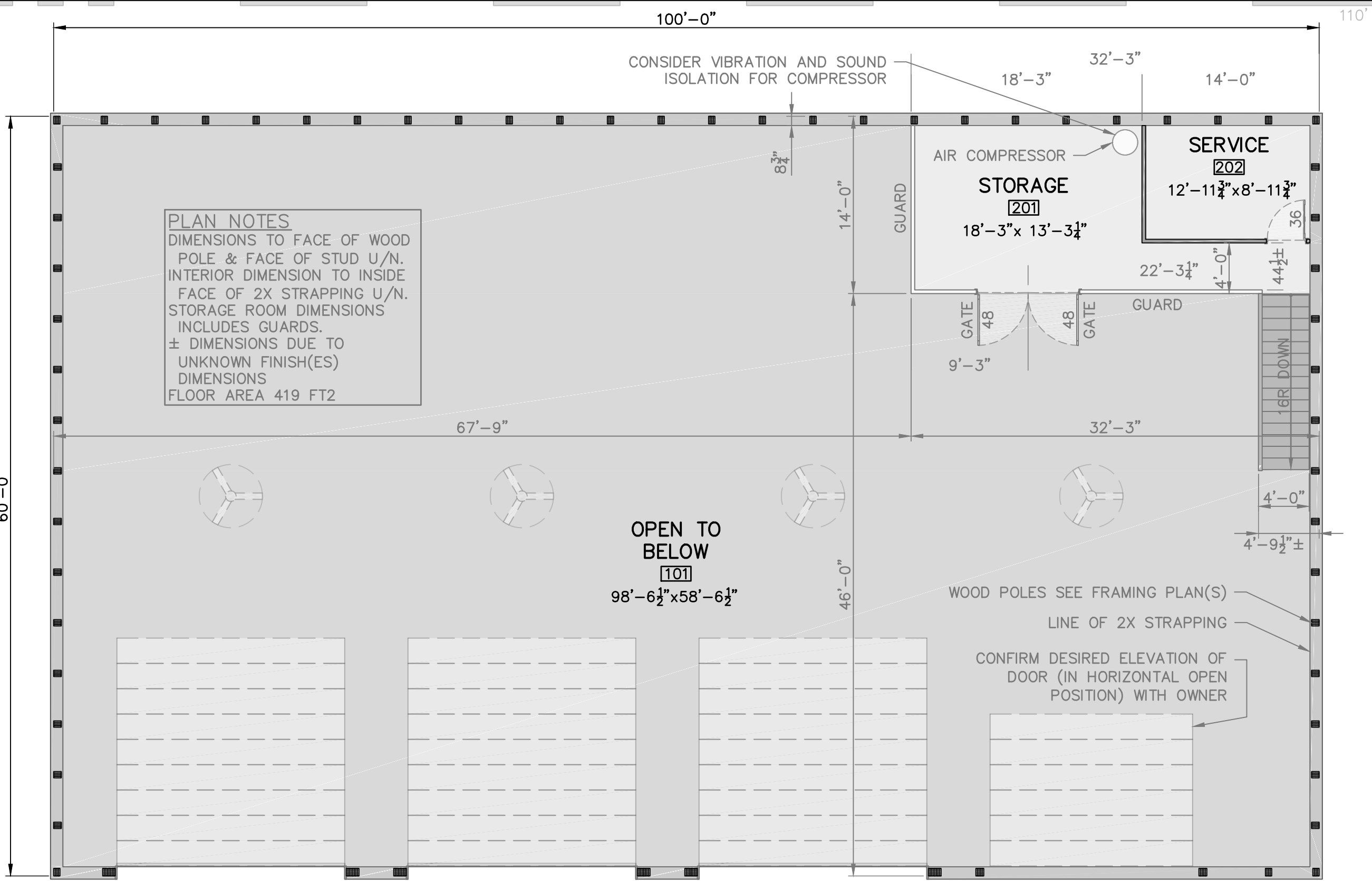
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60'-0"



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		SCALE:	1/8" = 1'-0"		
SHEET TITLE:	2ND FLOOR PLAN	DRAWN BY: René Dupuis		DRAWING:	B3
		CHECKED BY: Builder(s)		<div>1.1</div>	

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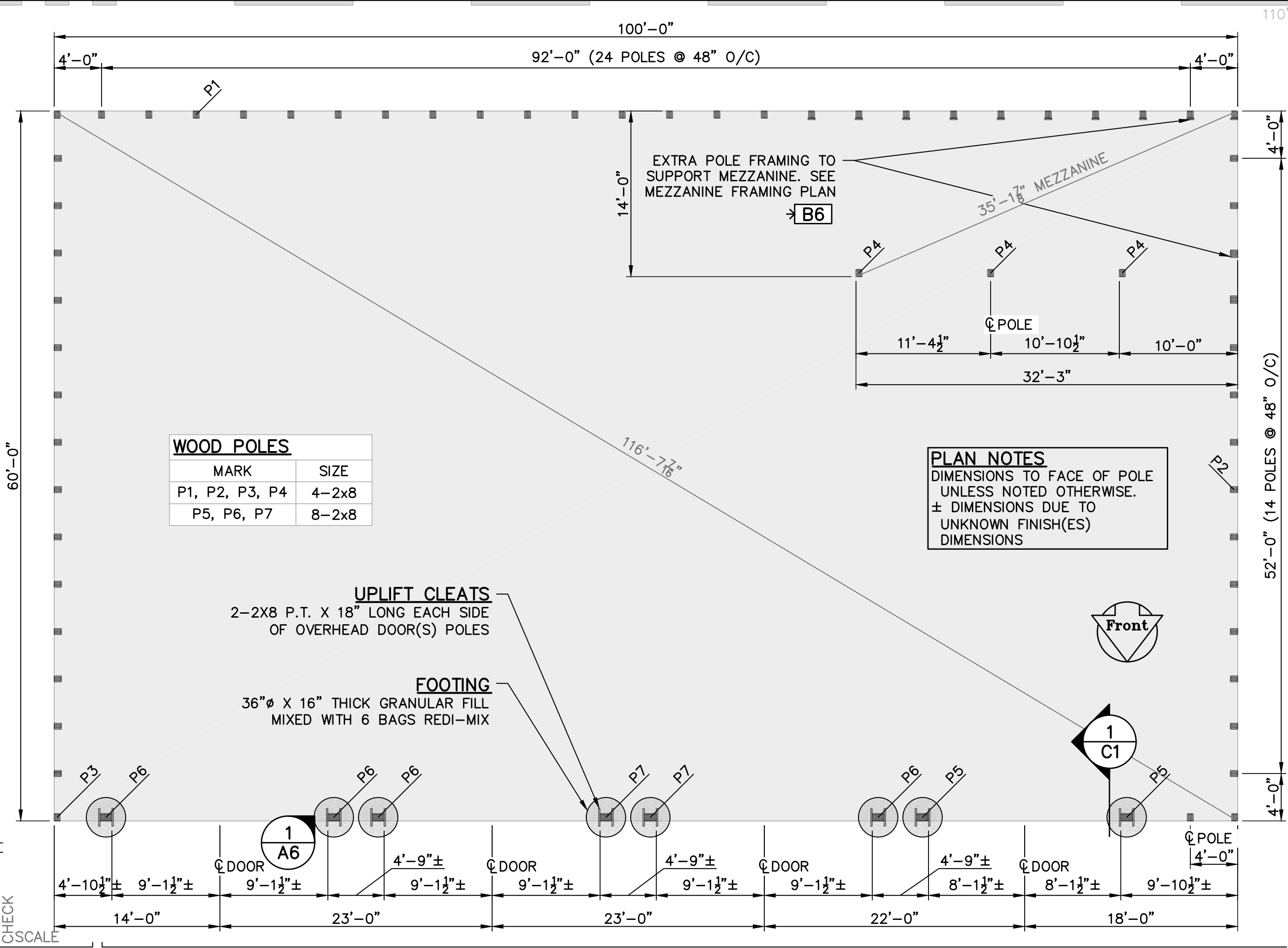
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CS

60'-0"



WOOD POLES	
MARK	SIZE
P1, P2, P3, P4	4-2x8
P5, P6, P7	8-2x8

UPLIFT CLEATS
2-2X8 P.T. X 18" LONG EACH SIDE
OF OVERHEAD DOOR(S) POLES

FOOTING
36"Ø X 16" THICK GRANULAR FILL
MIXED WITH 6 BAGS REDI-MIX

PLAN NOTES
DIMENSIONS TO FACE OF POLE
UNLESS NOTED OTHERWISE.
± DIMENSIONS DUE TO
UNKNOWN FINISH(ES)
DIMENSIONS

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SCALE:

1/8" = 1'-0"

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REVISION:

1..1

DRAWING:

B4

SHEET TITLE:

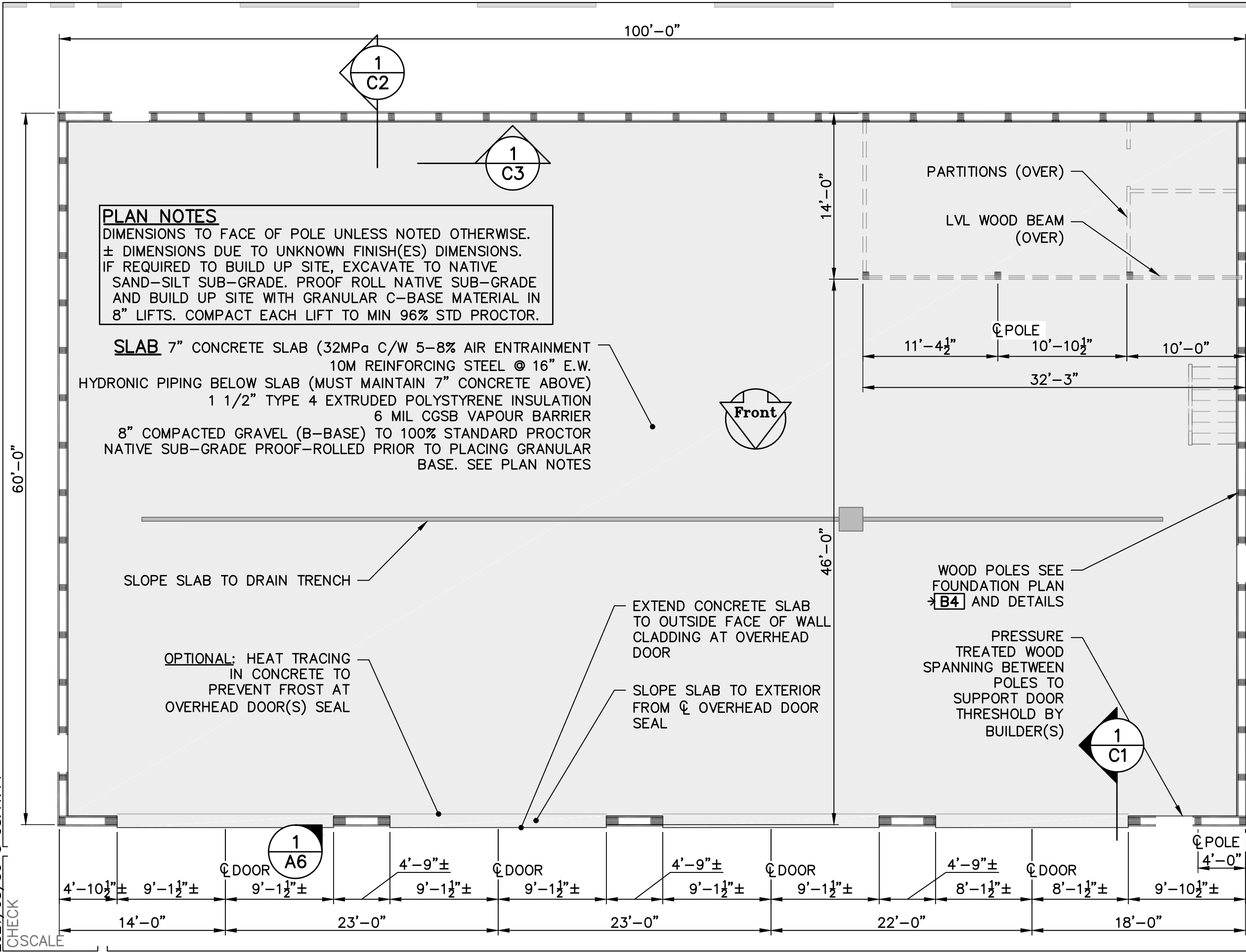
FOUNDATION PLAN

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SCALE: $1/8'' = 1'-0''$

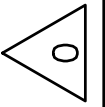
SHEET TITLE:

MAIN FLOOR FRAMING PLAN

DRAWN BY: René Dupuis

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DRAWING:



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CHECK

60'-0"

100'-0"

110'

WOOD LEDGER

1 $\frac{3}{4}$ X 9 $\frac{1}{4}$ LVL BEARING ON EACH POLE

SECURE ADDITIONAL 2X8
P.T. VERTICAL DOWN THE
BASE OF EACH 4 PLY POLE
FOR LEDGER BEARING

ENGINEERED JOISTS

11 $\frac{7}{8}$ " DEEP @ 12" O/C

WOOD BEAM

—1 $\frac{3}{4}$ " x _____" LVL

METAL JOIST HANGERS

14'-0"
MEZZANINE

67'-9"

46'-0"

PLAN NOTES

DIMENSIONS TO FACE OF POLE
UNLESS NOTED OTHERWISE.
± DIMENSIONS DUE TO
UNKNOWN FINISH(ES)
DIMENSIONS
LVL BEAMS: 2.0E, 2850 Fb

Front

PARTITIONS (OVER)

WOOD BEAM

—1 $\frac{3}{4}$ " x — " LVL

Q POLE

11'-4½"

10'-10 $\frac{1}{2}$ "

32'-3" MEZZANINE

SECURE ADDITIONAL 2X8
P.T. VERTICAL DOWN THE
BASE OF EACH 4 PLY POLE
FOR BEAM BEARING

STAIR & GUARDS
BY BUILDER(S)

$$\underline{4' - 9\frac{1}{2}'}$$

WOOD POLES SEE
FOUNDATION PLAN
→ **B4** AND DETAILS

6 14'-0"

13'-10¹³/₁₆" ±

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RM of Oakview – MB

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DRAWING:  B6

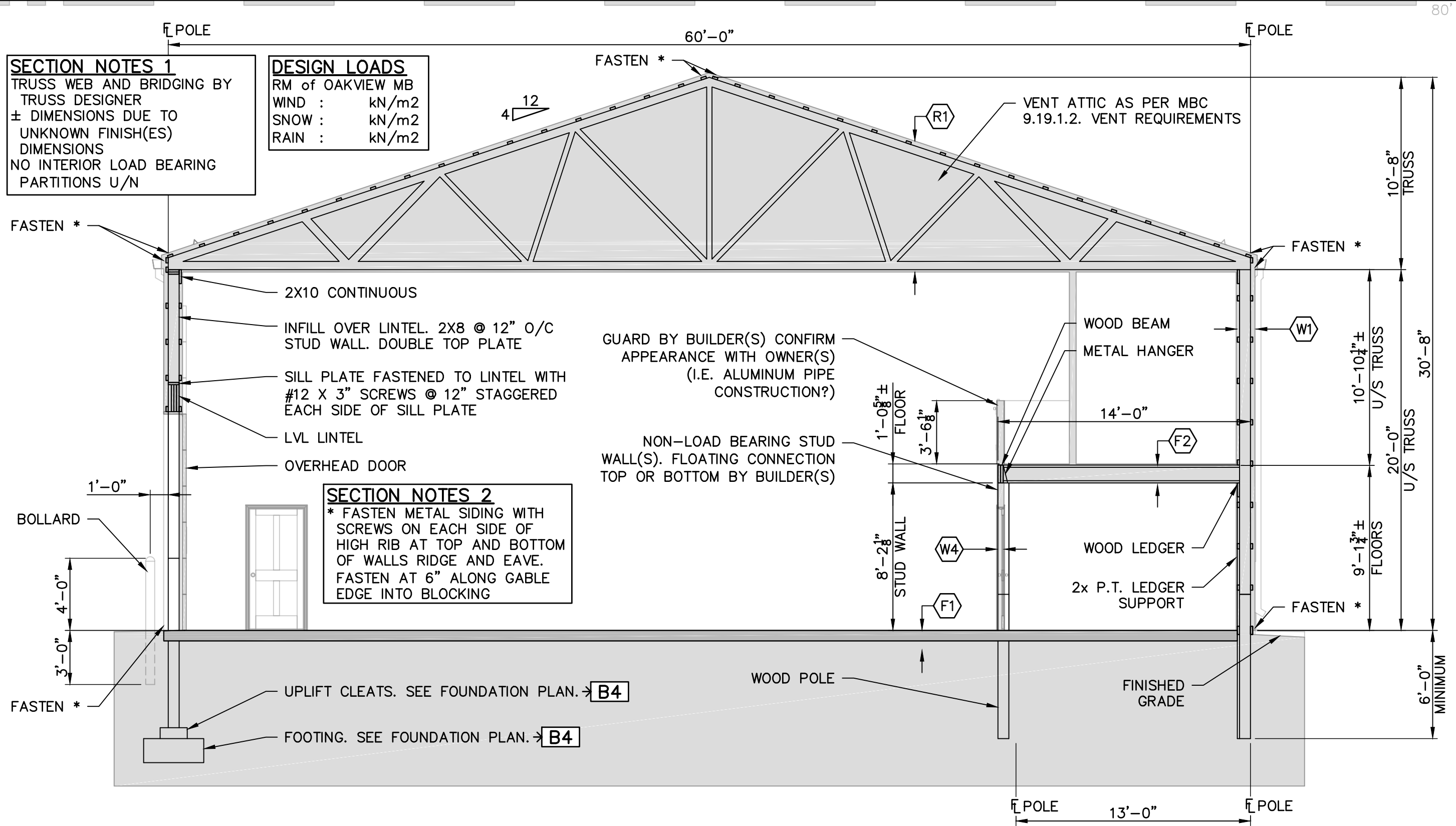
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SECTION NOTES 1
TRUSS WEB AND BRIDGING BY TRUSS DESIGNER
± DIMENSIONS DUE TO UNKNOWN FINISH(ES) DIMENSIONS
NO INTERIOR LOAD BEARING PARTITIONS U/N

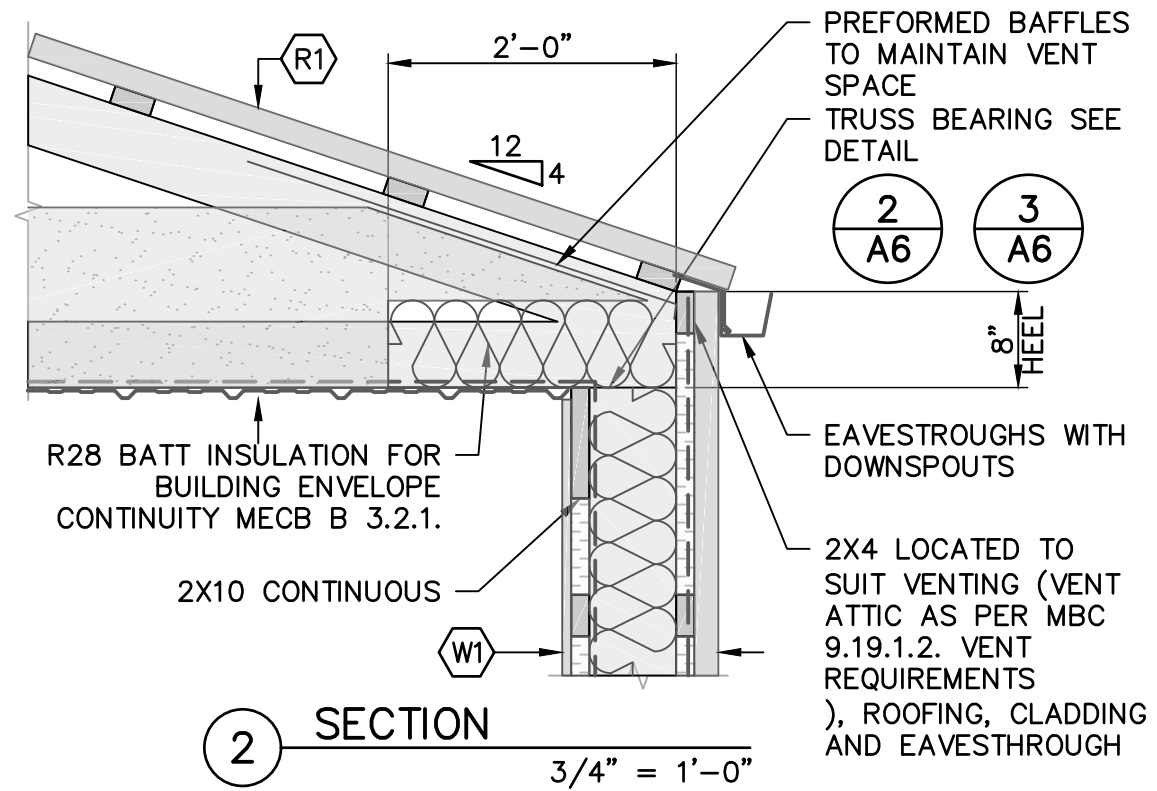
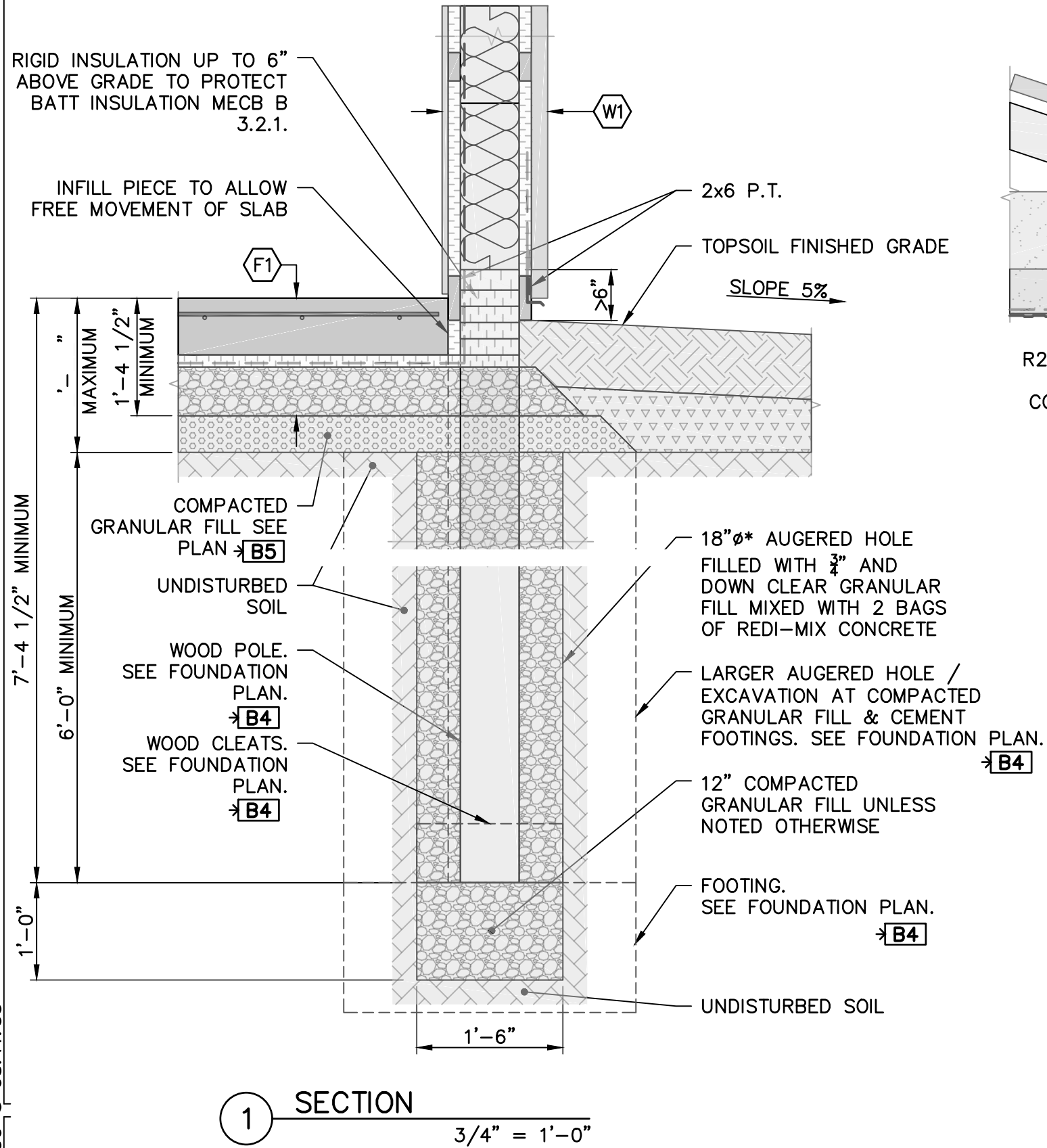
DESIGN LOADS
RM of OAKVIEW MB
WIND : kN/m2
SNOW : kN/m2
RAIN : kN/m2

SECTION NOTES 2
* FASTEN METAL SIDING WITH SCREWS ON EACH SIDE OF HIGH RIB AT TOP AND BOTTOM OF WALLS RIDGE AND EAVE. FASTEN AT 6" ALONG GABLE EDGE INTO BLOCKING

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		SCALE:	3/16" = 1'–0"		
SHEET TITLE:	BUILDING SECTION	DRAWN BY: René Dupuis		DRAWING:	<div>➤1.1</div> <div>C1</div>
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SHEET TITLE:

DETAILS

DATE:	2021 08 30	REVISION:
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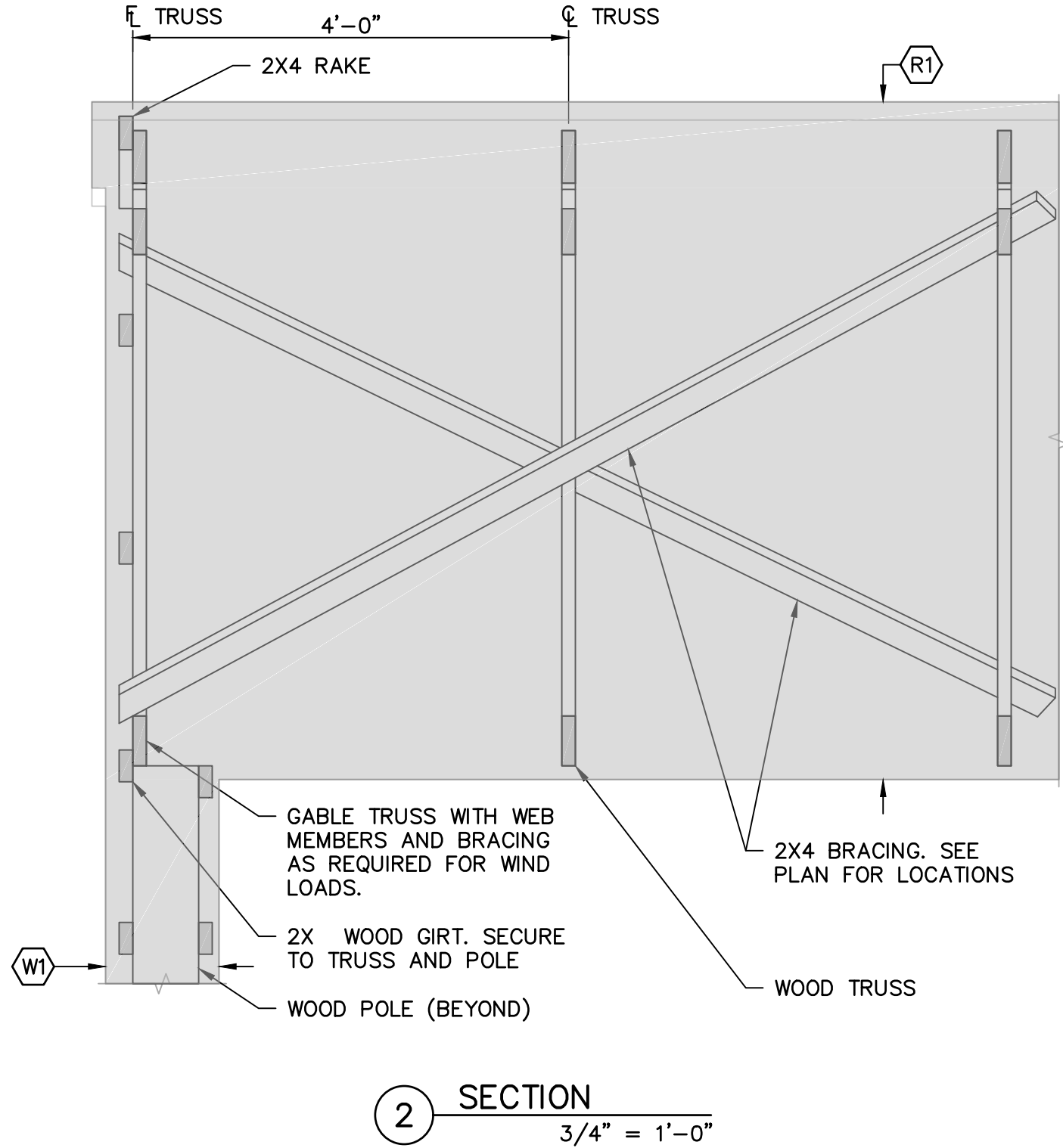
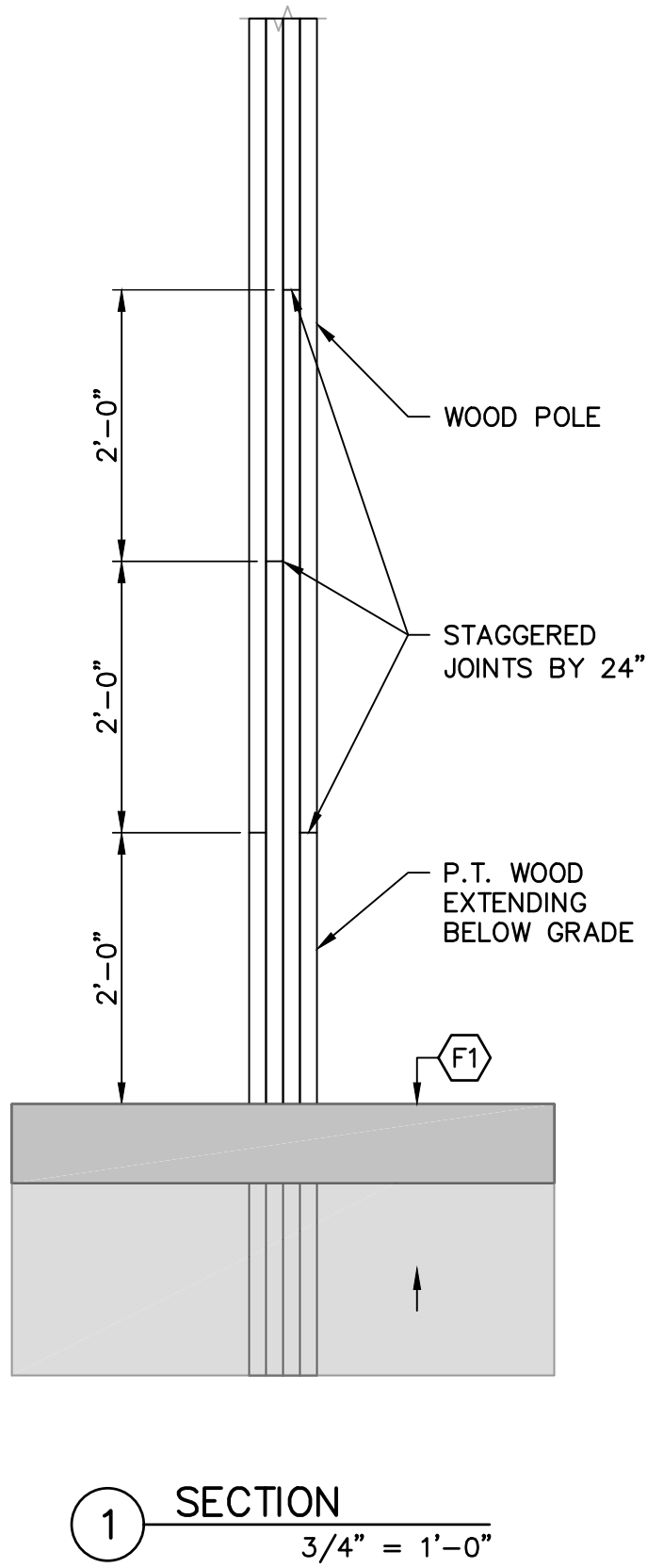
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18'

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MANITOBA BUILDING CODE (MBC) M.R. 31/2011 – AMENDMENT M.R. 5/2017		
THIS A PROPOSED 557M2 (6000FT2) BUILDING AREA WITH A 39M2 (419FT2) MEZZANINE FOR TOTAL FLOOR AREA OF 596M2 (6419FT2). IT CONTAINS A MAINTENANCE SHOP WITH ANCILLARY SPACES.		
Clause	Description	Application
DIVISION A PART 1 COMPLIANCE		
A 1.3.3.	APPLICATION OF DIVISION B	
A 1.3.3.3.	APPLICATION OF PARTS 9 AND 10	1)b) BUILDING AREA 557M2 (6000FT2) < 600M2 (6458FT2)
		1)c)iv) MAJOR OCCUPANCY, GROUP F, DIVISION 3, LOW-HAZARD INDUSTRIAL OCCUPANCY: STORAGE GARAGE, VEHICLE MAINTENANCE ONLY, NO REPAIRS
A 1.4.1.2.	DEFINED TERMS	1) LOW-HAZARD INDUSTRIAL OCCUPANCY: COMBUSTIBLE CONTENT < 50KG/M2 OR 1200MJ/M2
DIVISION B PART 9 HOUSING AND SMALL BUILDINGS		
B 9.4.	STRUCTURAL REQUIREMENTS	
B 9.4.1.1.	SPECIFIED LIVE LOAD	2) STORAGE MEZZANINE LIVE LOAD OF 4.8kPa (100psf), TABLE 4.1.5.3.
B 9.4.4.	FOUNDATION CONDITIONS	
B 9.4.4.1.	ALLOWABLE BEARING PRESSURES	1)b) DESIGNED IN ACCORDANCE WITH SECTION 4.2. USING i) THE MAXIMUM ALLOWABLE BEARING PRESSURES IN TABLE 9.4.4.1., OR ii) ALLOWABLE BEARING PRESSURES DETERMINED FROM SUBSURFACE INVESTIGATION.
B 9.5.2.	BARRIER-FREE DESIGN (PARTIAL COMPLIANCE PROPOSED BY BUILDER(S))	
A 1.4.1.2	PEDESTRIAN ENTRANCE	INCLUDES A PUBLIC ENTRANCE AND AN EMPLOYEE ENTRANCE
B 3.8.1.1.	APPLICATION	A-3.8.1.1. ACCESSIBILITY. THE OPERATIONS CARRIED OUT IN THE SPACE DO NOT WARRANT COMPLIANCE.
		1)c) BUILDING NOT INTENDED TO BE OCCUPIED ON A DAILY OR FULL-TIME BASIS
B 3.8.1.2.	ENTRANCES	1) ALL PEDESTRIAN ENTRANCES TO A BUILDING REFERRED TO IN SENTENCE 3.8.1.1(1) SHALL BE BARRIER-FREE.
		PROPOSED ONLY 2 FRONT ENTRANCES TO BE BARRIER-FREE FOR OCCASIONAL USE.
B 3.8.1.3.	BARRIER-FREE PATH OF TRAVEL	1) UNOBSTRUCTED WIDTH OF BARRIER-FREE PATH OF TRAVEL IS NOT LESS THAN 1100MM (43.3IN)
B 3.8.2.2.	ACCESS TO PARKING AREAS	1) PROVIDE A BARRIER-FREE PATH OF TRAVEL BETWEEN THE EXTERIOR PARKING AREA AND A BARRIER-FREE ENTRANCE AS PER 3.8.1.2.

		A-3.8.2.2. PARKING AREAS. ASPHALT, CONCRETE AND GRAVEL ARE ACCEPTABLE PARKING SURFACES
B 3.8.2.3.	WASHROOMS REQUIRED TO BE BARRIER-FREE	5) UNIVERSAL TOILET ROOM TO 3.8.3.12 REQUIRED. SEE B 9.31.1. & B 3.7.2.2.
B 3.8.3.2.	EXTERIOR WALKS	1)b) > 1200MM (47.2IN) WIDE, > 1500MM (59.1IN) WHEN ADJACENT TO MOVING VEHICLES
		TURNING SPACE OR PASSING LANE, 1500MM (59.1IN) x 1500MM (59.1IN) EVERY 9M (30FT).
B 3.8.3.3.	DOORWAYS AND DOORS	1) DOORWAY CLEAR WIDTH 825MM (32.5IN)
		4) DOORWAY THRESHOLD < 13MM (0.51IN) HIGHER THAN FINISHED FLOOR
		10) DOOR SHALL HAVE A CLEAR SPACE ON THE LATCH SIDE EXTENDING > A) 600MM (23.6IN) BEYOND THE EDGE OF THE DOOR OPENING IF THE DOOR SWINGS TOWARD THE APPROACH SIDE, AND B) 300MM (11.8IN) BEYOND THE EDGE OF THE DOOR OPENING IF THE DOOR SWINGS AWAY FROM THE APPROACH SIDE.
B 3.8.3.11.	LAVATORIES	1)a) LAVATORY CENTRE > 460MM (18.1IN) FROM SIDE WALL
B 3.8.3.12.	UNIVERSAL TOILET ROOMS	1)d) WATER CLOSET SIDE CLEARANCES i) > 285MM (11.2IN AND < 305MM (12.0IN), ii) OTHER SIDE > 875MM (34.4IN)
		1)i) WHEELCHAIR TURNING SPACE: 1700MM (66.9IN) DIAMETER.
B 9.5.3.	CEILING HEIGHTS	
B 9.5.3.2.	CEILING HEIGHTS	1) BELOW & ABOVE MEZZANINE > 2100MM (82.7IN)
B 9.8.	STAIRS, RAMPS, HANDRAILS AND GUARDS	
B 9.8.2.1.	STAIR WIDTH	MINIMUM 900MM (35.4IN) FOR EXITS
B 9.8.4.1.	DIMENSIONS FOR RISERS	1) TABLE 9.8.4.1., PUBLIC, RISE 180MM (7.1IN) MAX. 125MM (4.9IN) MIN.
B 9.8.4.2.	DIMENSIONS FOR RECTANGULAR TREADS	1) TABLE 9.8.4.2., PUBLIC, RUN NO MAX. 280MM (11.0IN) MIN.
		2) DEPTH > RUN AND < RUN PLUS 25MM (1.0IN)
B 9.8.6.3.	DIMENSIONS OF LANDINGS	MINIMUM WIDTH AND LENGTH: WIDTH OF STAIR
B 9.8.8.3.	HEIGHT OF GUARDS	1) > 1070MM (42.1IN) HIGH
		4) > 900MM (35.4IN) HIGH AT STAIRS EXCEPT REQUIRED EXIT STAIRS.
B 9.8.8.5.	OPENINGS IN GUARDS	2) PASSAGE OF SPHERICAL OBJECTS < 100MM (3.9IN) OR < 200MM (7.9IN) PERMITTED DUE TO INDUSTRIAL OCCUPANCY. SEE A-9.8.8.5.(1)(2)



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B 9.8.9.1.	LOADS ON STAIRS AND RAMPS	1)b) 4.8kPa (100psf) FOR STAIRS. EXCEPTIONS 9.8.9.4. AND 9.8.9.5
B 9.9.	MEANS OF EGRESS	
B 9.9.1.3.	OCCUPANT LOAD	1) TABLE B 3.1.17.1, STORAGE GARAGE: 596M2 (6419FT2) / 46.0M2 (495FT2) PER PERSON = 13. FUTURE ANTICIPATED BUILDING OCCUPANCY = 10
B 9.9.2.4.	PRINCIPAL ENTRANCES	1) PRINCIPAL ENTRANCE(S) DESIGNED WITH THE REQUIREMENTS FOR EXITS
B 9.9.3.2.	EXIT WIDTH	1) > 900MM (35.4IN), EXCEPT DOORS AND CORRIDORS
B 9.9.3.3.	WIDTH OF CORRIDORS	PUBLIC AND EXIT > 1100MM (43.3IN)
B 9.9.3.4.	CLEAR HEIGHT	2) EXITS AND ACCESS TO EXITS IN STORAGE GARAGES > 2000MM (78.7IN)
B 9.9.6.5.	DIRECTION OF DOOR SWING	1) EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL.
B 9.9.6.6.	NEARNESS OF DOORS TO STAIRS	300MM (11.8IN) BETWEEN A STAIR RISER AND THE LEADING EDGE OF A DOOR DURING ITS SWING.
B 9.9.7.3.	DEAD-END CORRIDORS	1) A DEAD-END CORRIDOR < 6M (20') LONG IS PERMITTED
B 9.9.7.4.	NUMBER AND SPACING OF EGRESS DOORS	1) TABLE 9.9.7.4.: GROUP F, DIVISION 3, STORAGE GARAGE, AREA 596M2 (6419FT2) > 200M2 (2153FT2), TRAVEL DISTANCE < 15M (49'). TWO OR MORE EGRESS DOORS REQUIRED
		1) TABLE 9.9.7.4.: GROUP F, DIVISION 3, STORAGE GARAGE, MEZZANINE AREA 39M2 (419FT2) < 200M2 (2153FT2), TRAVEL DISTANCE < 15M (49'). SINGLE MEANS OF EGRESS ACCEPTABLE.
B 9.9.7.6.	TRAVEL DISTANCE WITHIN ROOMS AND SUITES	NEAREST EGRESS DOOR SHALL NOT EXCEED THE MAXIMUM TRAVEL DISTANCE IN ARTICLE 9.9.8.2.
B 9.9.8.2.	NUMBER OF REQUIRED EXITS	1)c) TRAVEL DISTANCE TO NEAREST EXIT < 30M (98')
B 9.9.8.4.	LOCATION OF EXITS	1) A-9.9.8.4.(1), 3.4.2.3.(1)(B) AS A TARGET, HALF THE MAXIMUM DIAGONAL DIMENSION OF THE FLOOR = 18M (58') BETWEEN EXITS.
B 9.9.8.6.	MEZZANINE MEANS OF EGRESS	1) EXITS ACCESSIBLE AT THE MEZZANINE LEVEL NOT REQUIRED, SEE EXCEPTION (2)

		2)a) MEZZANINE IS NOT REQUIRED TO TERMINATE AT A VERTICAL FIRE SEPARATION. SEE 9.10.12.1.(2) b) OCCUPANCY 9.9.1.3. < 60 c) AREA OF THE MEZZANINE < TABLE 9.9.7.4. AREA d) TABLE 9.9.7.4. DISTANCE > TRAVEL DISTANCE FROM ANY POINT ON THE MEZZANINE TO ii) AN EGRESS STAIRWAY LEADING TO SPACE BELOW HAVING 2 OR MORE EGRESS DOORWAYS 9.9.7.4.(1).
B 9.10.	FIRE PROTECTION	
B 9.10.2.1	OCCUPANCY CLASSIFICATION	GROUP F, DIVISION 3, LOW-HAZARD INDUSTRIAL OCCUPANCIES. VEHICLE MAINTENANCE ONLY. NO REPAIRS.
B 9.10.2.4.	BUILDINGS CONTAINING MORE THAN ONE MAJOR OCCUPANCY	SEE ALSO 9.10.9.16.
B 9.10.4.1.	MEZZANINES NOT CONSIDERED AS STOREYS	1) MEZZANINE EXCLUDED FROM BUILDING HEIGHT. a) AREA OF MEZZANINE 39M2 (419FT2) < 56M2 (600FT2), 10% BUILDING FLOOR AREA. SEE (2)
		2)a) MEZZANINE AREA 39M2 (419FT2) < 206M2 (2221FT2), 40% OF THE OPEN AREA OF THE ROOM BELOW 516M2 (5552FT2) b) MEZZANINE IS AN OPEN AREA. NO PARTITIONS OR SUBDIVIDING WALLS > 1070MM (42.1IN). SEE (3)
		3) MEZZANINE ENCLOSED SPACE AREA 39M2 (419FT2) < 52M2 (555FT2), 10% OF THE OPEN AREA OF THE ROOM IN WHICH THE MEZZANINE IS LOCATED 516M2 (5552FT2). ENCLOSED SPACE DOES NOT OBSTRUCT VISUAL COMMUNICATION BETWEEN THE OPEN SPACE ABOVE THE MEZZANINE AND THE ROOM IN WHICH IT IS LOCATED.
B 9.10.8.1.	FIRE-RESISTANCE RATINGS FOR FLOORS AND ROOFS	1) TABLE 9.10.8.1., GROUP F3, < 2 STOREYS, NO RATING REQUIRED FOR MEZZANINE FLOORS AND ROOFS.
B 9.10.9.16.	SEPARATION OF STORAGE GARAGES	SIMILAR TO 9.10.9.17. REPAIR GARAGE NOT SEPARATED FROM ANCILLARY SPACES DIRECTLY SERVING THE GARAGE. VEHICLE MAINTENANCE ONLY. NO REPAIRS.
B 9.10.10.3.	SEPARATION OF SERVICE ROOMS	ROOM CONTAINS A LIMITED QUANTITY OF SERVICE EQUIPMENT NONE OF WHICH CONSTITUTE A FIRE HAZARD.
B 9.10.12.1.	TERMINATION OF FLOORS OR MEZZANINES	2) MEZZANINE NEED NOT TERMINATE AT A VERTICAL FIRE SEPARATION. MEZZANINE NOT CONSIDERED AS A STOREY, SEE 9.10.4.1.
B 9.10.13.12.	SERVICE ROOM DOORS	SWING-TYPE DOORS SHALL OPEN INTO SERVICE ROOMS CONTAINING FUEL-FIRED EQUIPMENT WHERE SUCH DOORS LEAD TO PUBLIC CORRIDORS BUT SHALL SWING OUTWARD FROM SUCH ROOMS IN ALL OTHER CASES. SEE ALSO 9.9.6.6. AND 9.10.10.3.



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CODE REVIEW

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B 9.10.14.3.	LIMITING DISTANCE AND FIRE DEPARTMENT RESPONSE	1)a) FIRE DEPARTMENT RESPONSE TIME < 10 MIN. BUILDING AUTHORITY TO CONFIRM
B 9.10.14.4.	OPENINGS IN EXPOSING BUILDING FACE	1) FRONT AND BACK: EXPOSING BUILDING FACE 30.5M (100FT) X 6.4M (21FT) = 195M2 (2100FT2) a) TABLE 9.10.14.4.A. MINIMUM LIMITING DISTANCE = 20.0M (66FT) FOR 100% UNPROTECTED OPENINGS. b) TABLE 3.2.3.1.B. MINIMUM LIMITING DISTANCE = 15.8M (52FT) FOR 100% UNPROTECTED OPENINGS. c) SQUARE ROOT OF AREA OF EXPOSING BUILDING FACE = 14.0M (46FT) MINIMUM LIMITING DISTANCE FOR 100% UNPROTECTED OPENINGS.
		1) RIGHT AND LEFT: EXPOSING BUILDING FACE 18.3M (60FT) X 7.9M (26FT) = 145M2 (1560FT2) a) TABLE 9.10.14.4.A. MINIMUM LIMITING DISTANCE = 20.0M (66FT) FOR 100% UNPROTECTED OPENINGS. b) TABLE 3.2.3.1.B. MINIMUM LIMITING DISTANCE = 13.8M (45FT) FOR 100% UNPROTECTED OPENINGS. c) SQUARE ROOT OF AREA OF EXPOSING BUILDING FACE = 12.0M (39FT) MINIMUM LIMITING DISTANCE FOR 100% UNPROTECTED OPENINGS.
B 9.10.16.1.	REQUIRED FIRE BLOCKS IN CONCEALED SPACES	5)b) UNOCCUPIED ATTIC SPACE SHALL BE SEPARATED BY FIRE BLOCKS < 300M2 (3229FT2) IN AREA.
		6) CONCEALED SPACE (5)b) < 20M (66')
B 9.10.17.1.	FLAME SPREAD RATING OF INTERIOR SURFACES	1) INTERIOR WALL AND CEILING, INCLUDING SKYLIGHTS AND GLAZING, SURFACE FLAME–SPREAD RATING < 150. SEE 9.10.17 FOR EXCEPTIONS. BUILDING AUTHORITY TO CONFIRM IF CEILING IS REQUIRED BELOW MEZZANINE.
B 9.10.18.2.	FIRE ALARM SYSTEM REQUIRED	2)c) TABLE 9.10.18.2., OCCUPANCY < 75, NO FIRE ALARM SYSTEM REQUIRED
B 9.10.20.1.	WINDOWS OR ACCESS PANELS REQUIRED	BUILDING AUTHORITY TO CONFIRM IF REQUIRED ABOVE MEZZANINE.
B 9.19.	ROOF SPACES	
B 9.19.2.1.	ACCESS	2) ATTIC OR ROOF SPACE ACCESS HATCH 550MM (21.7IN) X 900MM (35.4IN)
B 9.31.	PLUMBING FACILITIES	
B 9.31.1.1.	APPLICATION	2) B 3.7.2.
B 3.7.2.2.	WATER CLOSETS	4) SINGLE WATER CLOSET, OCCUPANT LOAD < 10.
		14) 1 WATER CLOSET FOR EACH SEXE. EXCEPTION (4)
		BUILDING AUTHORITY TO CONFIRM IF A UNIVERSAL TOILET ROOM IN ACCORDANCE WITH SECTION 3.8. IS REQUIRED.
B 9.36.	ENERGY EFFICIENCY	

B 9.36.1.3.	COMPLIANCE AND APPLICATION	4) BUILDING TOTAL FLOOR AREA 596M2 (6419FT2) > 300M2 (3229FT2), MECB APLLIES.
DIVISION C PART 2 ADMINISTRATIVE PROVISIONS		
C 2.2.1.2.	STRUCTURAL DESIGN	1) DIVISION B PART 4, PROFESSIONAL ENGINEER REQUIRED
MANITOBA ENERGY CODE FOR BUILDINGS (MECB) M.R. 213/2013 – AMENDMENT M.R. 76/2015.		
B 3.2.1.4.	ALLOWABLE FENESTRATION AND DOOR AREA	HDD RIVERS MB = 5840. FDWR 124M2 (1339FT2) / 615M2 (6622FT2) = 0.20 < MAXIMUM FDWR = 0.28, DESIGN REQUIRED
B 3.2.2.1.	VESTIBULES	3) A VESTIBULE IS NOT REQUIRED FOR AN EXTERIOR DOOR THAT b) IS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HANDLING, c) IS INTENDED TO BE USED AS A SERVICE, EMERGENCY EXIT, OR STAIRWELL EXIT DOOR ONLY,



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R1

ROOF

	U	RSI	R
EXTERIOR AIR FILM	33.33	0.03	0.2
29 Ga. PREFINISHED METAL ROOFING			
2X4 STRAPPING @ 24" O/C			
WOOD TRUSSES @ 48" O/C WITH 15" GLASS FIBER LOOSE FILL INSULATION	0.159	6.31	35.8
6 MIL POLY AIR/VAPOUR BARRIER			
1X4 WOOD STRAPPING @ 24" O/C			
29 Ga. PREFINISHED METAL CEILING			
INTERIOR AIR FILM	9.09	0.11	0.6
TOTALS	0.155	6.45	36.6
MECB REQUIRED	0.162	6.17	35.1

R1 TRUSSES @ = $\frac{100}{\frac{11}{3.24} + \frac{89}{7.14}}$

48" O/C

15" LOOSE

RSI_{eff} = $\frac{100}{3.4 + 12.5} = 6.31$

W1

WALL EXTERIOR

	U	RSI	R
EXTERIOR AIR FILM	33.33	0.03	0.2
29 Ga. PREFINISHED METAL CLADDING			
SHEATHING MEMBRANE			
2x4 STRAPPING @ 27.5" O/C WITH 1 1/2 EXTRUDED POLYSTYRENE	1.05	0.95	5.4
4-2x8 POLES @ 48" O/C WITH R-28 BATT INSULATION	0.310	3.23	18.3
6 MIL POLY AIR/VAPOUR BARRIER			
2x4 STRAPPING @ 27.5" O/C WITH 1 1/2 EXTRUDED POLYSTYRENE	1.05	0.95	5.4
29 GA. PREFINISHED METAL WALL LINER			
INTERIOR AIR FILM	8.33	0.12	0.7
TOTALS	0.189	5.29	30.0
MECB REQUIRED	0.210	4.76	27.0

W1 4-2x8 @ = $\frac{100}{\frac{25}{1.57} + \frac{76}{4.93}}$

48" o/c

BATTS

RSI_{eff} = $\frac{100}{15.7 + 15.3} = 3.23$

W1 2x4 STRAP = $\frac{100}{\frac{13}{0.32} + \frac{87}{1.33}}$

@ 27.5"

O/C XTPS

RSI_{eff} = $\frac{100}{39.2 + 65.6} = 0.95$

F1

FLOOR

	U	RSI	R
INTERIOR AIR FILM	6.25	0.16	0.9
7" CONCRETE SLAB	14.1	0.07	0.4
1 1/2" EXTRUDED POLYSTYRENE FULL AREA	0.75	1.33	7.6
6 MIL POLY AIR/VAPOUR BARRIER			
8" MINIMUM COMPACTED GRANULAR FILL			
TOTALS	0.64	1.56	8.9
MECB REQUIRED	0.757	1.32	7.5

FOR MORE FLOOR F1 INFORMATION SEE PLAN B5

F2

FLOOR

- 3/4" T&G PLYWOOD SHEATHING GLUED AND SCREWED
- 11 7/8" DEEP ENGINEERED JOIST @ 16" O/C

W2

WALL – INTERIOR

- NON-LOAD BEARING
- 1/2" GYPSUM BOARD
 - 2X4 STUD @ 16" O/C
 - 1/2" GYPSUM BOARD
- OPTIONAL
- SOUND INSULATION (WASHROOMS, LAUNDRY AND MECHANICAL ROOMS)
 - 2X6 PLUMBING AND DUCTWORK WALLS AS REQUIRED

ENGINEERING NOTE(S)

CONCRETE: CONCRETE TO HAVE 32 MPa COMPRESSIVE STRENGTH AT 28 DAYS WITH 5-8" AIR ENTRAINMENT

REINFORCEMENT: DEFORMED BILLET BAR TO CSA-G20.12 GRADE 300 – 10M GRADE 400 – 15M AND LARGER

UNDERFLOOR INSULATION: TYPE 4 EXTRUDED POLYSTYRENE

LVL BEAMS: 2.0E, 2850 Fb

ALL WOOD IN CONTACT WITH GROUND TO BE PRESSURE TREATED UC 4.2 (PWF GRADE)

MISC WOOD FRAMING: SPF No 2 & BTR



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CONSTRUCTION TYPES, NOTES

DATE:

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1' = 1'-0"

DRAWN BY:

René Dupuis

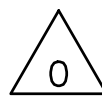
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Project notes for client review: 2021 04 06

1. Drawing content and review is by you and your builder(s).
2. Builder(s) shall verify and comply with all applicable codes and standards.
3. The drawing(s) show(s) typical construction from a previous job and may not reflect your or your builder(s) preferences.
4. I recommend you review the drawings with your builder(s) as they should provide missing information and specify any changes to the drawings prior to applying for a permit.
5. You may want to look at building incentives from the government or Manitoba Hydro.
6. I can assist you in contacting an engineer to review/design your proposed design if you, your builder(s) or the building authority requires it.

Call if you have any questions.

Thanks,

René

Generic checklist 1 for client (floor plans) 170920

- bedrooms minimum 11' in long direction of a queen bed. 10' in other direction
- extra 36" for master bedrooms
- 36" minimum unobstructed (no doors, chairs, etc) traffic pathways
- 24" walkway between furniture, living room 13'6" by 13'6" minimum
- dining rooms minimum 10'-0" in long direction of table. 10' in other direction
- doors swinging into doors
- door swing out of small bathrooms and closet.
- simplify construction (remove jogs at rear of house)
- consider construction staging
- walk-in closets (U shaped, easy access up to ceiling)
- kitchen cabinets (room for storage, tasks, walk-in pantry)
- see www.superkitchens.com Guide to Standard Kitchen Planning Dimensions
- coat closets at exterior doors.
- extra Storage space (vacuum, out of season)
- crowded vestibules (stepping over people)
- house Traffic through muddy entrance floors
- floor/ceiling elevations (vaulted, practical construction)
- interior décor, furniture placement, window considerations (TV glare), Closetmaid stud spacing
- solid backing in bathrooms
- Plumbing walls (2x6 interior vent, not in exterior walls)
- 36" space for toilet
- deeper closets for winter coats


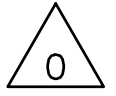
Generic checklist 2 for client (general construction) 170920

- Project name & ("street/city" or "town/municipality")
- Site characteristics (elevations, slopes, water)
- Foundation type (piles, ICF brand, footings, slab only, crawlspace)
- Snow stop
- Bollards
- Floor/ceiling elevations (vaulted)
- Roof slope, overhang, heel height
- Grading
- Exterior finish / details (gable returns) / snow stops
- Insulation wall/roof/floor/foundation (garage)
- Sump pit & floor drain location
- Concrete curb
- Door & window sizes and types (including basement) use as a guide 10% of floor area for living and dining and 5% for bedrooms and other finished rooms. need bedroom exits. Consider tubular daylighting devices.
- Beam & teleposts (capacities)
- Stud to concrete foundation horizontal offset (flush)
- North direction
- Patio railing/roof supports
- Garage heat/fire alarm
- Joist framing (ducting)
- dampproofing over and down footing
- sound proofing coating in ductwork "turns"
- split end joists spaces 50/50 for access
- construction joints (beams, columns, slab sawcuts)

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				CHECKED BY:	Builder(s)	➔ 1..1	